

COASTSIDE FIRE PROTECTION DISTRICT

FIRE STATION #44

9/13/2023



ARCHITECT
 SAN LUIS OBISPO
 1327 ARCHER STREET, SUITE 110
 SAN LUIS OBISPO, CA 93401
 805-329-3076

Not for permitting or construction

CODES & STANDARDS

PARTIAL LIST OF APPLICABLE CODES

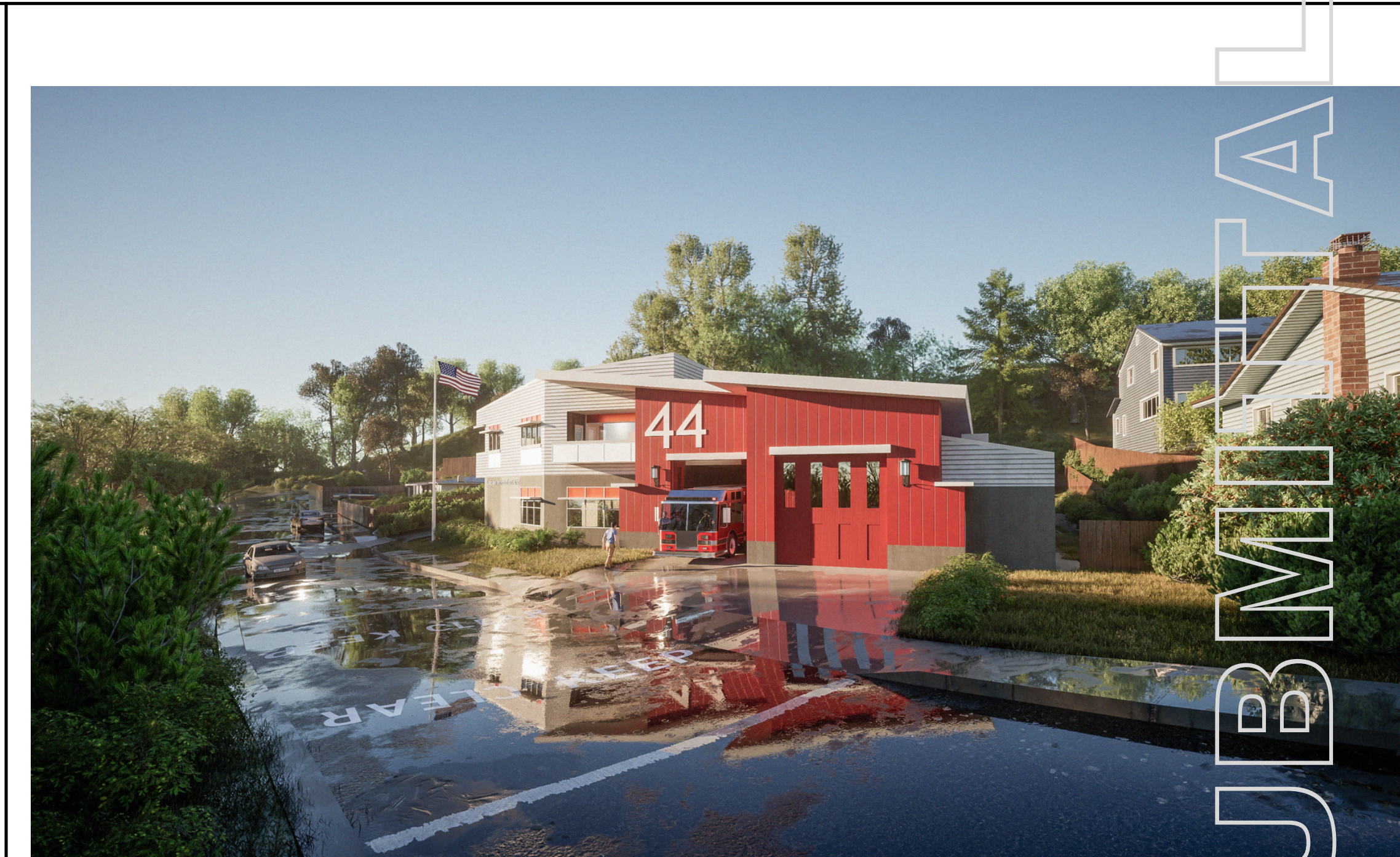
2022 California Administrative Code (CAC)	(Part 1, Title 24, CCR)
2022 California Building Code (CBC)	(Part 2, Title 24, CCR)
(2021 International Building Code Volumes 1 & 2 with 2022 California Amendments)	(Part 2, Title 24, CCR)
2022 California Electrical Code (CEC)	(Part 3, Title 24, CCR)
(2020 National Electrical Code with 2022 California Amendments)	(Part 3, Title 24, CCR)
2022 California Mechanical Code (CMC)	(Part 4, Title 24, CCR)
(2021 IAPMO Uniform Mechanical Code with 2022 California Amendments)	(Part 4, Title 24, CCR)
2022 California Plumbing Code (CPC)	(Part 5, Title 24, CCR)
(2021 IAPMO Uniform Plumbing Code with 2022 California Amendments)	(Part 5, Title 24, CCR)
2022 California Energy Code (CEC)	(Part 6, Title 24, CCR)
2022 California Fire Code (CFC)	(Part 9, Title 24, CCR)
(2021 International Fire Code with 2022 California Amendments)	(Part 9, Title 24, CCR)
2022 California Existing Building Code (CEBC)	(Part 10, Title 24, CCR)
(2021 International Existing Building Code with 2022 California Amendments)	(Part 10, Title 24, CCR)
2022 California Green Building Standards Code (CALGreen)	(Part 11, Title 24, CCR)
2022 California Referenced Standards Code	(Part 12, Title 24, CCR)
Title 19 CCR, Public Safety, State Fire Marshall Regulations	
2019 ASME A17.1/CSA B44-13 Safety Code For Elevators and Escalators (per 2022 CBC Part 2, Ch 35)	
Note: CALIFORNIA Elevator Unit enforces CCR Title 8 and uses the 2004 ASME A17.1 by adoption	

PARTIAL LIST OF APPLICABLE STANDARDS

NFPA 13 - Standard for the Installation of Sprinkler Systems (as amended) *	(2022 Edition)
NFPA 14 - Standard for the Installation of Standpipe and Hose Systems (as amended) *	(2019 Edition)
NFPA 17 - Standard for Dry Chemical Extinguishing Systems	(2021 Edition)
NFPA 17A - Standard for Wet Chemical Extinguishing Systems	(2021 Edition)
NFPA 20 - Standard for the Installation of Stationary Pumps for Fire Protection	(2019 Edition)
NFPA 22 - Standard for Water Tanks for Private Fire Protection	(2019 Edition)
NFPA 24 - Standard for the Installation of Private Fire Service Mains and Their Appurtenances (as amended) *	(2019 Edition)
NFPA 25 - Standard for the Inspection, Testing, and Maintenance of Water-Based Fire Protection Systems with California Amendments (Based on NFPA 25, 2011 Edition)	(2013 Edition)
NFPA 72 - National Fire Alarm and Signaling Code (as amended) *	(2022 Edition)
NFPA 80 - Fire Doors and Other Opening Protectives	(2019 Edition)
NFPA 92 - Standard for Smoke Control Systems	(2019 Edition)
NFPA 253 - Standard Method of Test for Critical Radiant Flux of Floor Covering Systems Using a Radiant Heat Energy Source	(2019 Edition)
NFPA 2001 - Standard on Clean Agent Fire Extinguishing Systems (as amended) *	(2018 Edition)
ICC 300 - ICC Standard on Seachers, Folding and Telescoping Seating and Grandstands	(2017 Edition)
UL 300 - Standard for Fire Testing of Fire Extinguishing Systems for Protection of Commercial Cooking Equipment—with Revisions through December 2014	2005 (R2010)
UL 464 - Audible Signal Appliances—with Revisions through October 10, 2003	(2003 Edition)
UL 521 - Heat Detectors for Fire Protective Signaling Systems—with Revisions through July 20, 2005	(1999 Edition)
UL 1971 - Standard for Signaling Devices for the Hearing Impaired	(2018 Edition)

* See CBC Chapter 35, Referenced Standards for State of California amendments to the NFPA Standards.
 For a complete list of applicable NFPA standards refer to 2022 CBC (SPM) Chapter 35 and California Fire Code (CFC) Chapter 90.

SHEET LIST	
SHEET NUMBER	SHEET NAME
T-1	TITLE SHEET
C1.0	COVER
C2.0	EXISTING SITE CONDITIONS
C3.0	GRADING AND DRAINAGE PLAN
C4.0	EROSION CONTROL PLANS
C5.0	EROSION CONTROL DETAILS
L1.0	IRRIGATION PLAN
L2.0	PLANTING PLAN
A1.1	PROPOSED SITE PLAN & TREE PLAN
A2.1	DIMENSIONED FLOOR PLANS
A4.1	PROPOSED ROOF PLAN
A5.1	PROPOSED EXTERIOR ELEVATIONS
A5.2	PROPOSED EXTERIOR ELEVATIONS
A5.3	PROPOSED BUILDING SECTIONS
E1.1P	PROPOSED LIGHTING PLAN



GOVERNING AGENCIES

COUNTY OF SAN MATEO
 PLANNING AND BUILDING DEPARTMENT
 400 COUNTY CENTER
 REDWOOD CITY, CA 94063
 (650) 363-4000

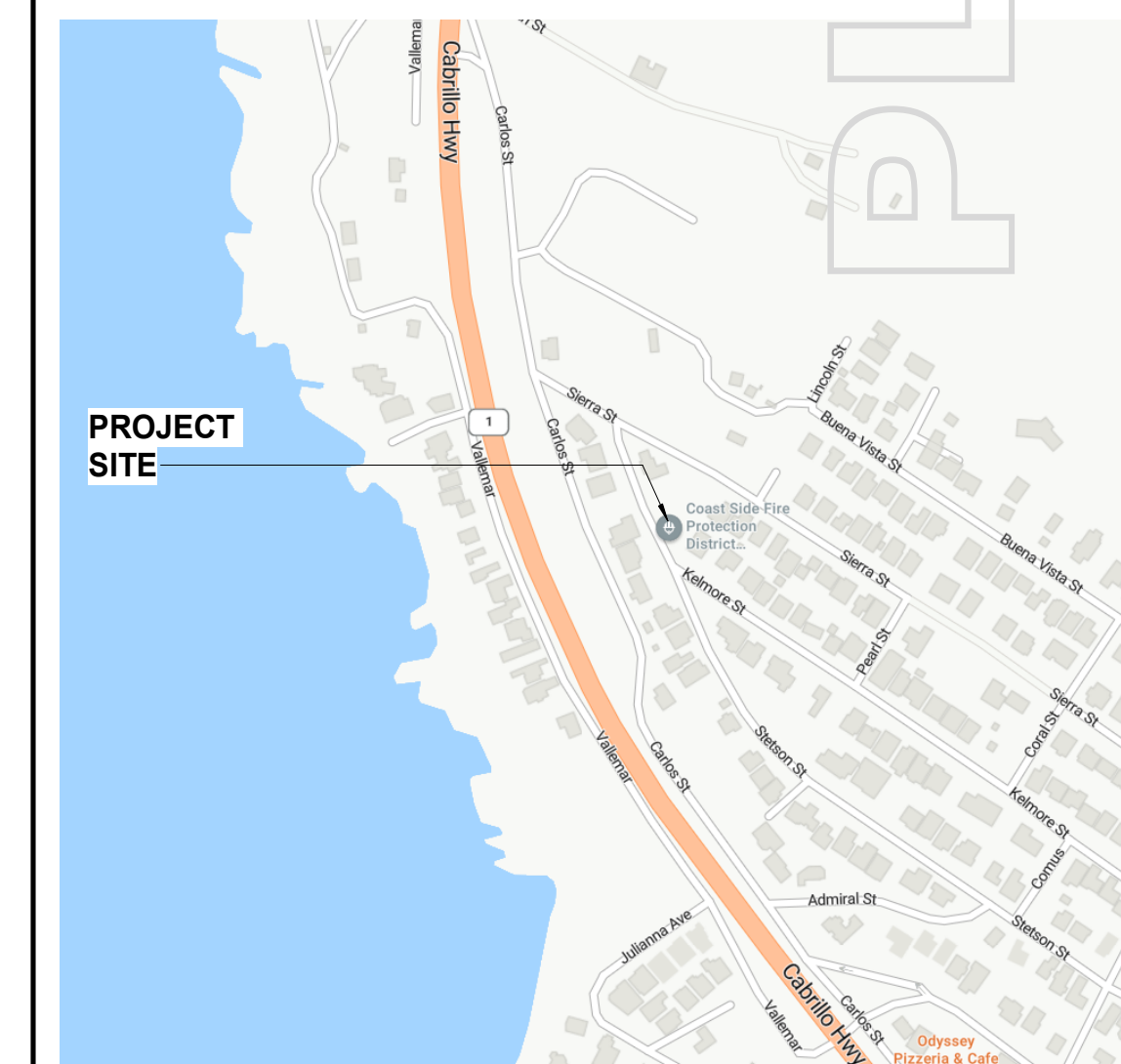
PROJECT DATA

PROJECT ADDRESS:	501 STETSON ST. MOSS BEACH, CA 94038	LOT COVERAGE: MAX. ALLOWED: 35% PROPOSED: 7,025 SF (BLDG. FOOTPRINT) / 21,695 (SITE AREA) = 32.4 % 32.4% < 35% OK
ASSESSOR'S PARCEL NO.:	037 063 380	FLOOR AREA RATIO: MAX. ALLOWED: 6,200 SF (PER S-17 ZONE) PROPOSED: 9,549 SF (SEE A2.1 FOR FLOOR AREA CALCULATION) FLOOR AREA RATIO = 9,549 SF / 21,695 SF = 0.44
ZONING:	R-1/S-17/DR/CD	BUILDING HEIGHT: MAX. ALLOWED: 28 FEET TYP., 33 FEET (WHEN ALLOWED BY DESIGN REVIEW COMMITTEE, PER S-17 ZONE) PROPOSED: 32'-3"
GOVERNING CODES:	2022 CBC	SQUARE FOOTAGE OF LANDSCAPING: NEW: 3,914 SF REHABILITATED: 0 SF
OCCUPANCY GROUP:	R-2 / S-2 / B	
CONSTRUCTION TYPE:	V-B	
TOTAL BUILDING AREA:	10,498 SF	
TOTAL SITE AREA:	21,695 SF	
NUMBER OF STORIES:	2	
PARKING:		
ACCESSIBLE:	1	
STANDARD PUBLIC:	1	
STAFF:	7	
TOTAL:	9	

PROJECT TEAM

OWNER	ARCHITECT
COASTSIDE FIRE PROTECTION DISTRICT 555 OBISPO RD. HALF MOON BAY, CA 94018 650-726-5213 PH	PBK 1327 ARCHER STREET SUITE 110 SAN LUIS OBISPO, CA 93401 805-329-3076 PH
CIVIL ENGINEER	ELECTRICAL ENGINEER
MCR ENGINEERING 1242 DUPONT CT. MANTECA, CA 95336 209-239-6229 PH	A & F ENGINEERING GROUP INC. 8320 BASELINE ROAD, SUITE C RANCHO CUCAMONGA, CA 91701 909-941-3008 PH
GEOTECHNICAL ENGINEER	LANDSCAPE ARCHITECT
GEOCOON CONSULTANTS, INC. 6871 BRISA STREET LIVERMORE, CA 94550 925-371-5900 PH	WDSL 150 MISSION ST SAN FRANCISCO, CA 94102 916-907-2942 PH

VICINITY MAP

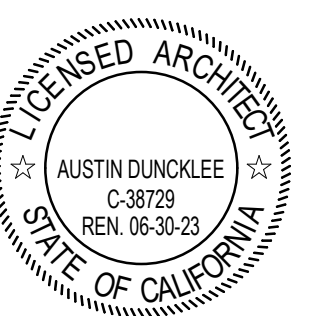


FIRE STATION #44
 COASTSIDE FIRE PROTECTION DISTRICT
 501 STETSON STREET
 MOSS BEACH, CA 94038
 PLANNING SUBMITTAL



G	H	J
D	E	F
A	B	C

KEY PLAN
 PLAN NORTH
 TRUE NORTH



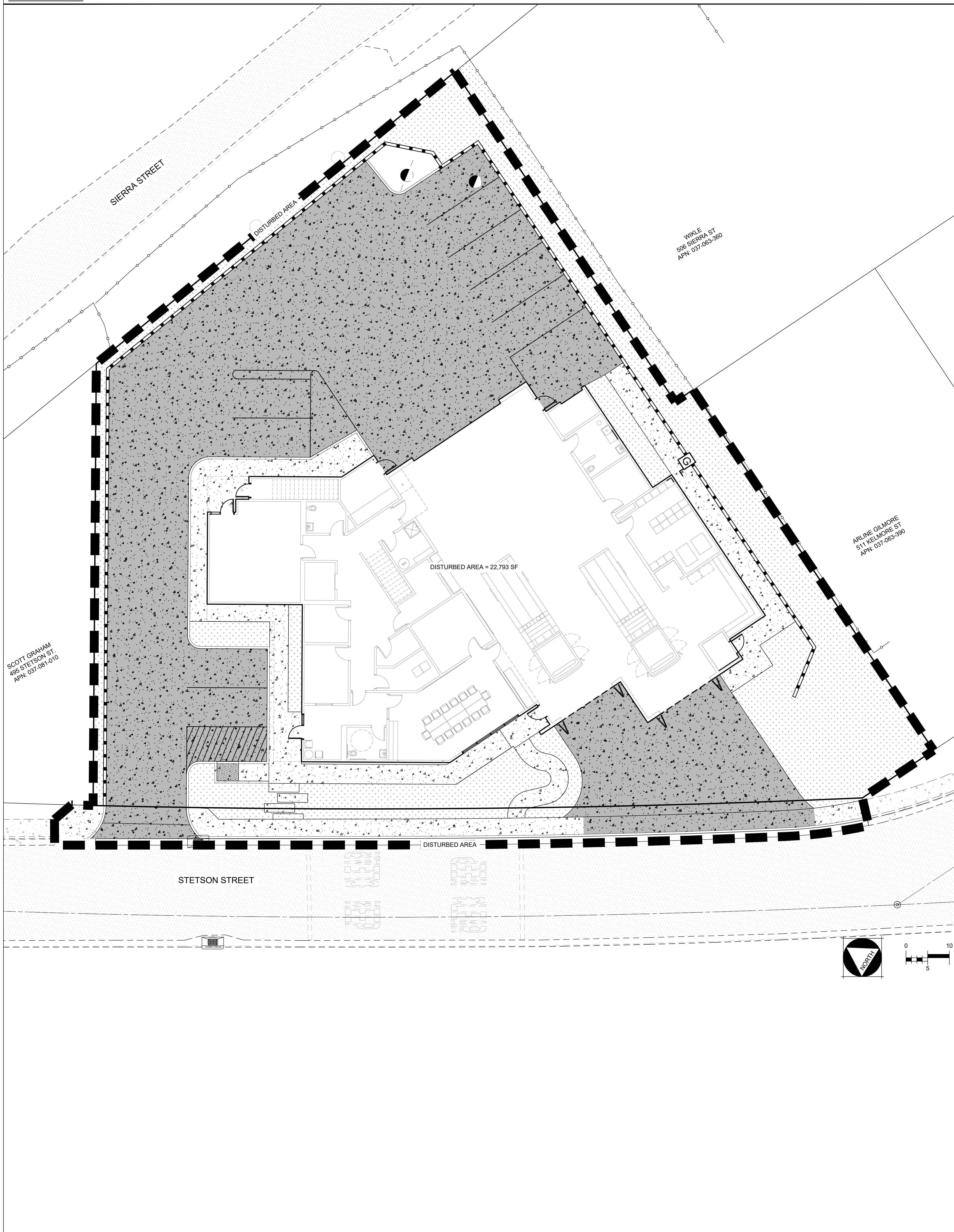
CLIENT COASTSIDE FIRE PROTECTION DISTRICT		
PROJECT NUMBER 230137		
DATE	9/13/2023	
DRAWN BY:	KF/OS	CHECKED BY: AD
REVISIONS		
#	DESCRIPTION	DATE
PLANNING SUBMITTAL		

TITLE SHEET

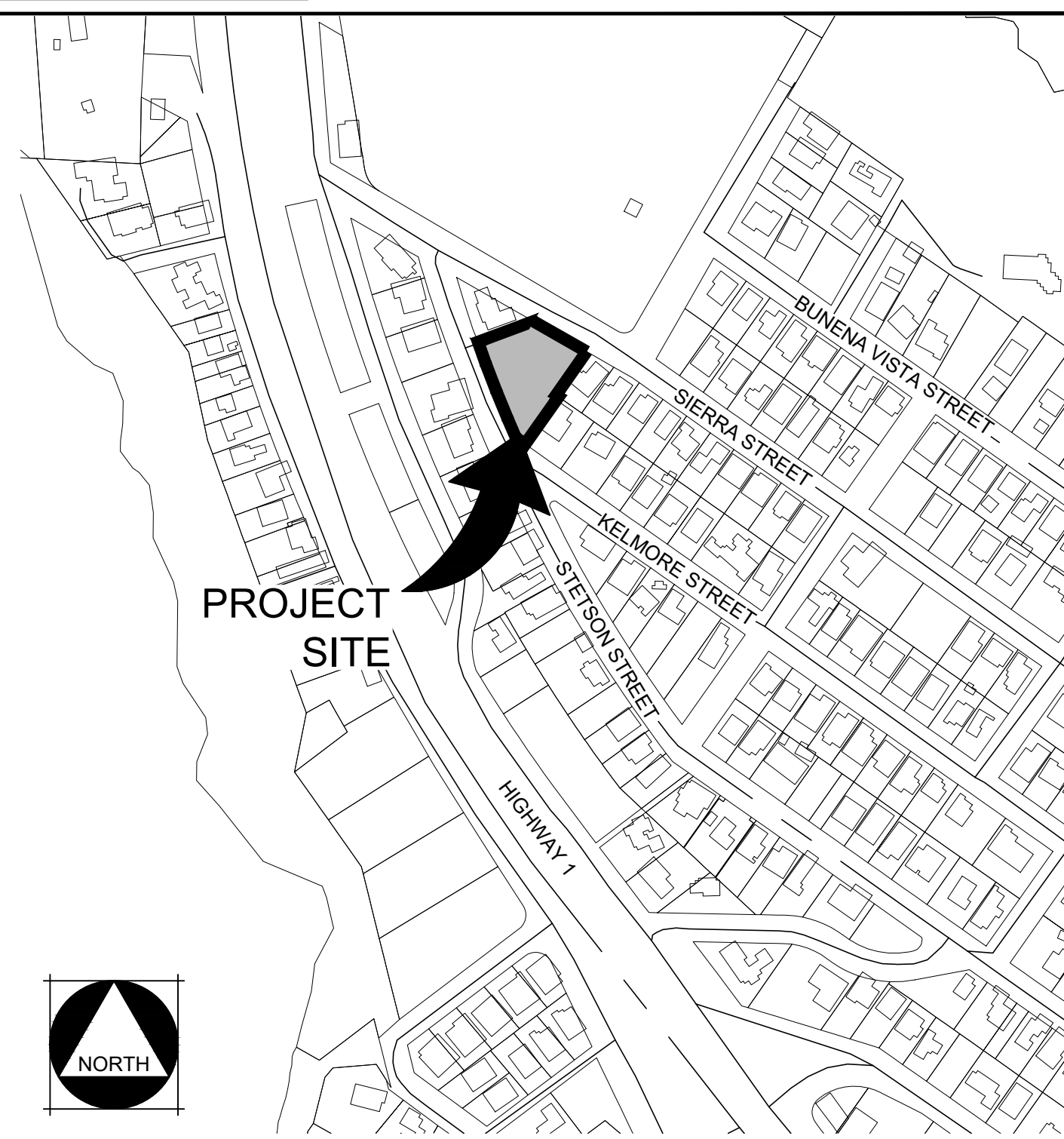
T-1

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SITE PLAN



VICINITY MAP



LEGEND

ITEM	EXISTING	PROPOSED
WATER VALVE		
AIR RELEASE VALVE		
BLOWOFF		
FIRE HYDRANT		
WATER METER		
SEWER MANHOLE		
STORM MANHOLE		
DRAIN INLET		
CURB INLET		
CLEANOUT		
SEWER MANHOLE NUMBER		
STORM MANHOLE NUMBER		
WATER LINE		
SANITARY SEWER		
STORM DRAIN		
TYPICAL ELECTROLIER		
TYPICAL LUMINAIRE		
ELECTRICAL VAULT		
SURVEY MONUMENT		
UTILITY POLE		
SIGNAGE		
ELEVATION		
DIRECTION OF FLOW		
ORIGINAL GROUND		
BARBED WIRE FENCE		
WOOD FENCE		
RETAINING WALL		
MASONRY WALL		
CURB, GUTTER & SIDEWALK		
TYPICAL RETURN WITH HANDICAP RAMP		

PLANNING SUBMITTAL

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PBK
ARCHITECT PBK Architects, Inc.
SAN LUIS OBISPO
1327 Ancho Street, Suite 110
San Luis Obispo, CA 93401
805-325-3015

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FIRE STATION #44
COASTSIDE FIRE PROTECTION DISTRICT

501 STETSON STREET
MORSS BEACH, CA 94038
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REGISTERED PROFESSIONAL ENGINEER
MARSHALL T. SHIFFT
No. C87499
CIVIL
STATE OF CALIFORNIA

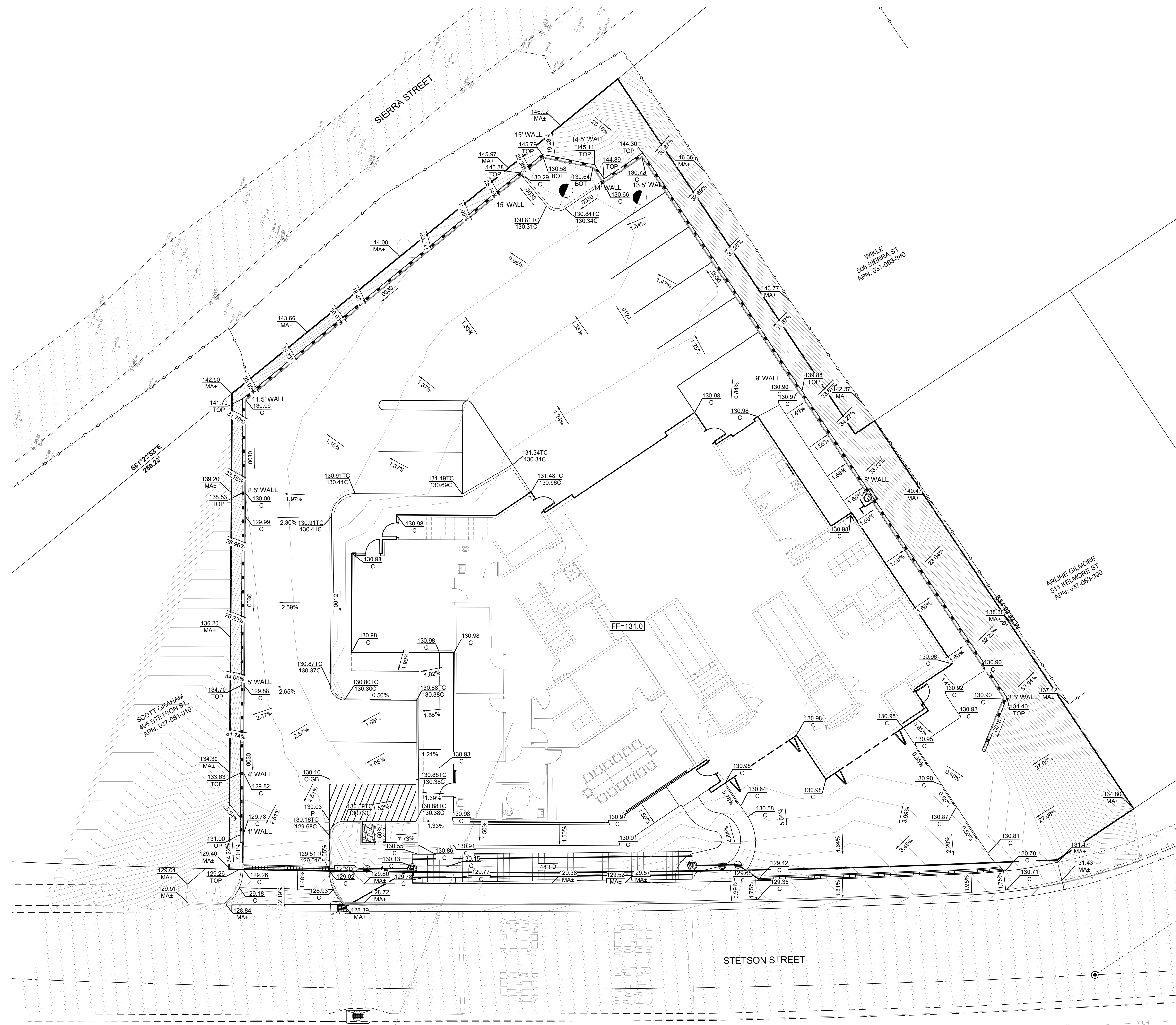
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DRAWN BY: DB/SLS CHECKED BY: DE

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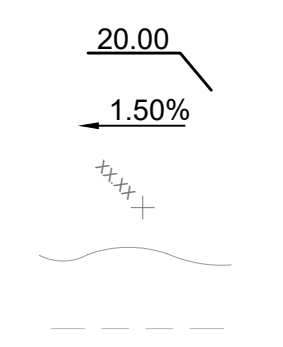
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COVER SHEET

C1.0



- GRADING LEGEND:**
- 1. FINISH GRADE ELEVATION
 - 2. FINISH GRADE SLOPE
 - 3. EXISTING GROUND
 - 4. FINISH GRADE CONTOUR
 - 5. EXISTING GRADE CONTOUR

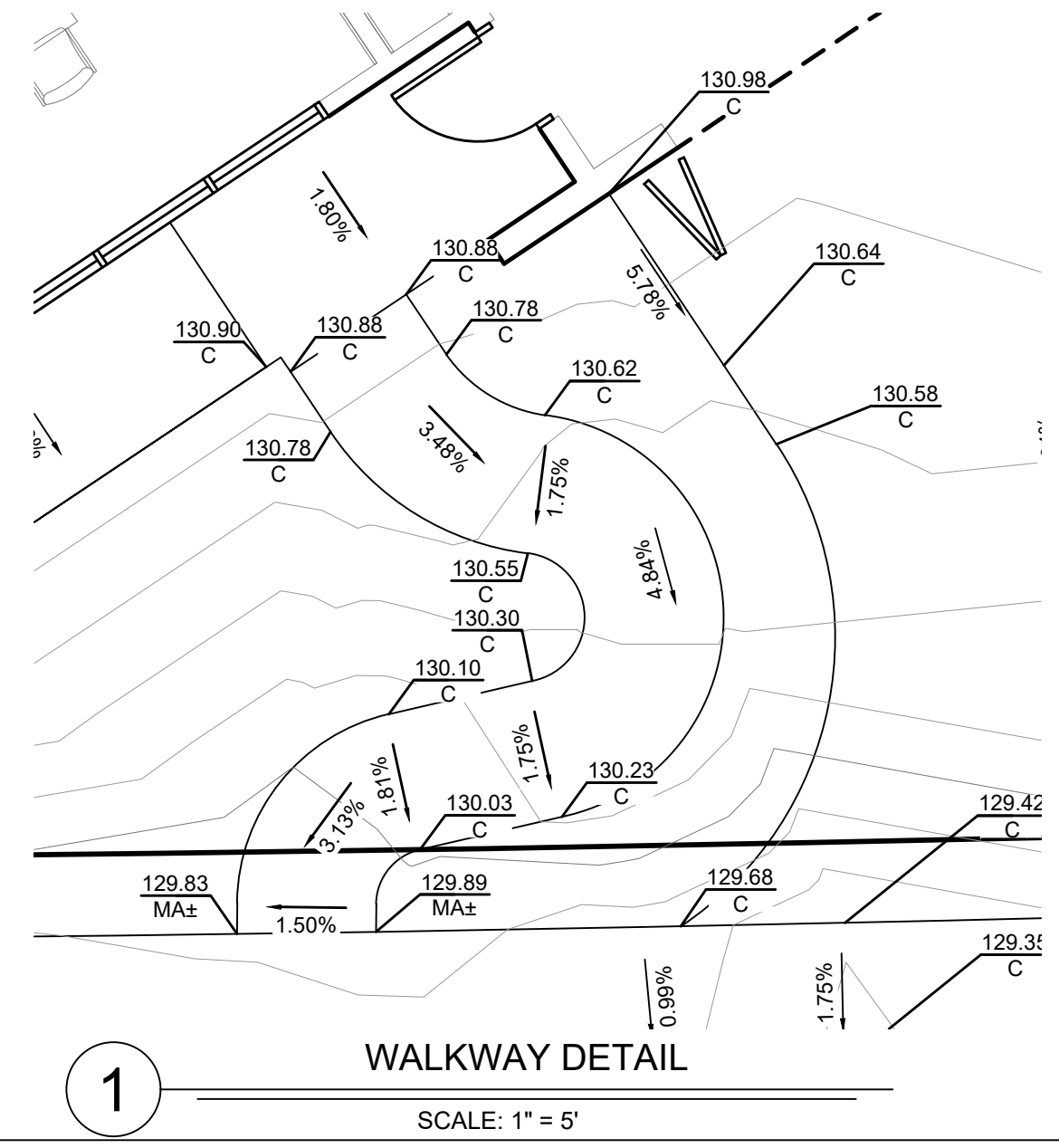
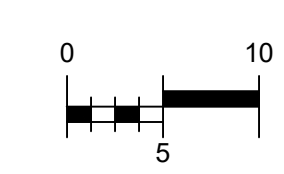
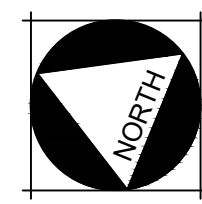


EARTHWORK QUANTITIES

CUT: 1.929 C.Y.
 FACTORED FILL: 109 C.Y.
 NET: 1.820 C.Y. (CUT)

EARTHWORK QUANTITIES DO NOT INCLUDE FOOTING SPOILS. BUILDING SLAB IS INCLUDED AS AN ASSUMED 6" CONCRETE SECTION OVER 4" AB.

- GRADING ACRONYMS:**
- 1. PAVEMENT
 - 2. CONCRETE/PAVERS
 - 3. LOW/HIGH POINT
 - 4. CURB RETURN
 - 5. TOP OF CURB
 - 6. TOP OF BANK
 - 7. FLOW LINE
 - 8. TRENCH DRAIN
- P
C
LP/HP
CR
TC
TOP
FL
TD



PLANNING SUBMITTAL

ARCHITECT PBK Architects, Inc.
 SAN LUIS OBISPO
 1327 Ancho Street, Suite 110
 San Luis Obispo, CA 93407
 805-325-3075

CONSULTANT

MCR ENGINEERING, INC.
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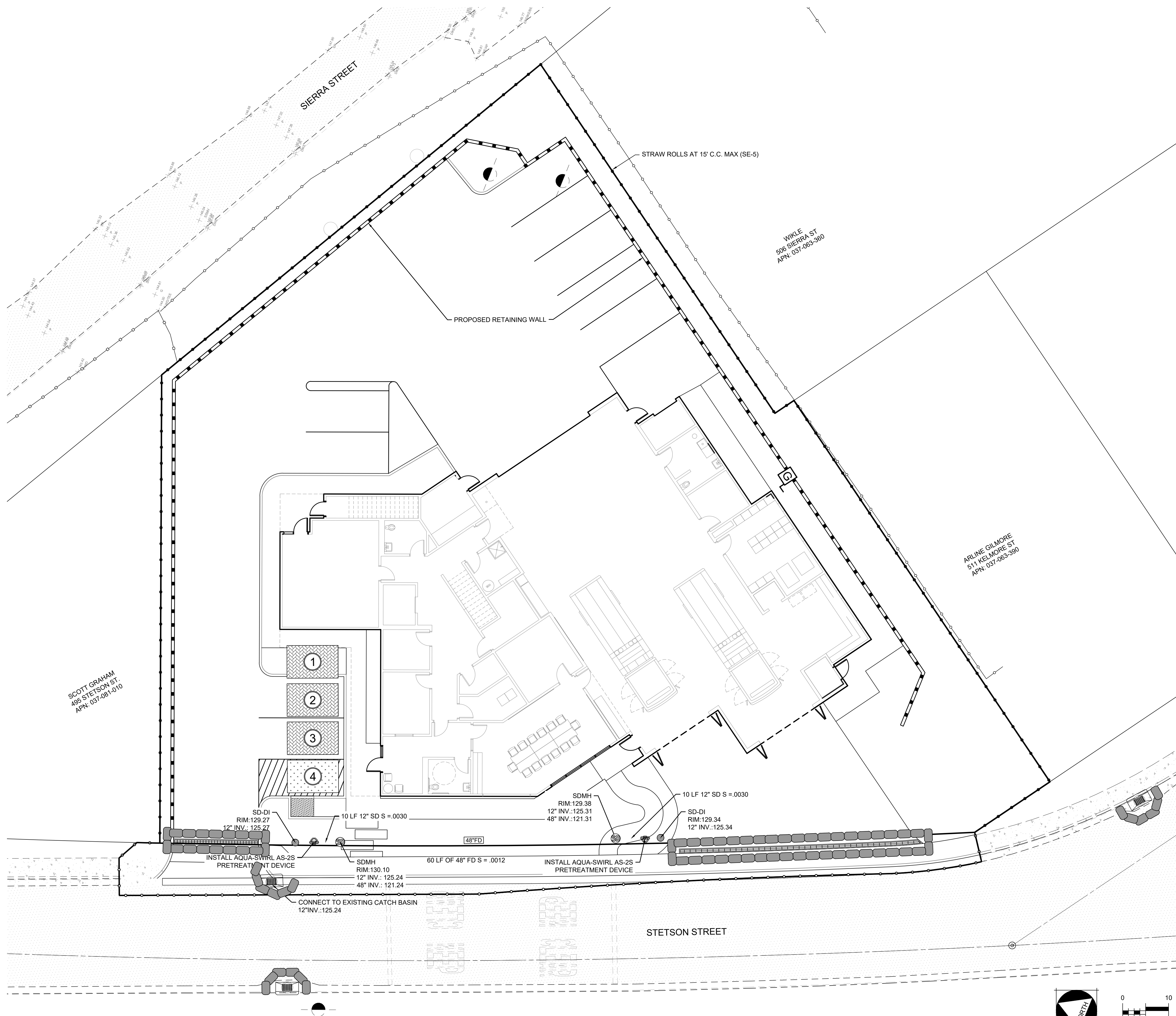
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GRADING AND DRAINAGE PLAN

C3.0

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LEGEND

	STABILIZED CONSTRUCTION ENTRANCE (TC-1)		EXISTING CURB INLET
	STRAW ROLLS (SE-5)		CURB INLET
	SILT FENCE (SE-1)		CATCH BASIN
	DESIGNATED ENTRANCE/OUTLET TIRE WASH (TC-3)		PROPOSED CURB INLET SEDIMENT PROTECTION (SE-10, SEE DETAIL A)
	DESIGNATED VEHICLE MAINTENANCE AREA (NS-8, NS-9, NS-10)		PROPOSED DRAIN INLET SEDIMENT PROTECTION (SE-10, SEE DETAIL B)
	DESIGNATED CONCRETE WASHOUT AREA (WM-8)		EXISTING CURB INLET SEDIMENT PROTECTION (SE-10, SEE DETAIL C)
	DESIGNATED JOB TRAILER & LAYDOWN AREA (WM-1)		GRAVEL BAGS

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EROSION CONTROL PLAN

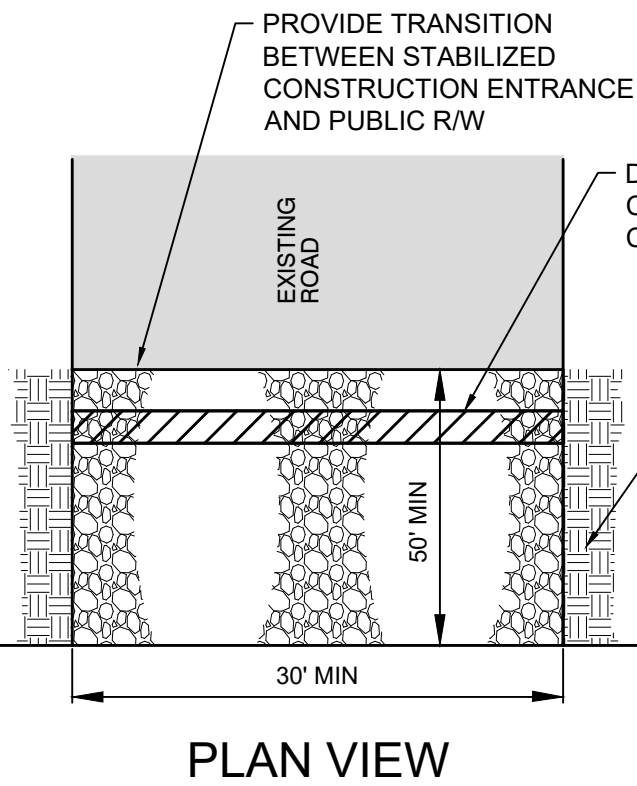
C4.0

COUNTY OF SAN MATEO EROSION AND SEDIMENT CONTROL PLAN NOTES

- 1. EROSION CONTROL POINT OF CONTACT NAME: Gary Silva, CALIFIRE TITLE: CALIFIRE EMAIL: PHONE NO: (650)-740-7249
2. PERFORMANCE CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
3. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENuded AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
4. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
5. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
6. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMITS(S) AS NECESSARY.
7. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
8. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
9. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
10. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
11. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
12. PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS ARE REQUIRED ON WEEKENDS AND DURING RAIN EVENTS: (LIST LOCATIONS)
13. THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
14. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
15. DUST CONTROL IS REQUIRED YEAR-ROUND.
16. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
17. USE OF PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30 IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
18. TREE PROTECTION SHALL BE IN PLACE BEFORE ANY DEMOLITION, GRADING, EXCAVATING OR GRUBBING IS STARTED.
19. CONSTRUCTION SCHEDULE:

STABILIZED CONSTRUCTION ENTRANCE

- 1. THE MATERIAL FOR CONSTRUCTION OF THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE 4 TO 6 INCH STONE.
2. THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 12 INCHES.
3. THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS, OR 30' MIN.
4. THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50 FEET.
5. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY BE DONE BY PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
6. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP, OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SANDBAGS, GRAVEL, BOARDS, OR OTHER APPROVED METHODS.
7. CONTRACTOR TO REMOVE AND DISPOSE OF STABILIZED CONSTRUCTION ENTRANCE UPON COMPLETION OF CONSTRUCTION.



STABILIZED CONSTRUCTION ENTRANCE (TC-1)

NOT TO SCALE

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.



Materials & Waste Management

- Non-Hazardous Materials: Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage. Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
Hazardous Materials: Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations. Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.

Equipment Management & Spill Control

- Maintenance and Parking: Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage. Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
Spill Prevention and Control: Keep spill cleanup materials (e.g., rags, absorbents and cut litter) available at the construction site at all times. Clean up spills or leaks immediately and dispose of cleanup materials properly.

Earthmoving

- Schedule grading and excavation work during dry weather. Stabilize all denuded areas, small and maintain temporary erosion controls (such as erosion control fabric or banded filter mat) until vegetation is established. Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

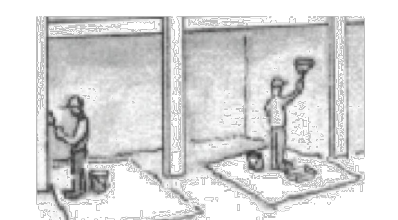
Paving/Asphalt Work

- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff. Cover storm drain inlets and manholes to the extent possible, and raise into a drain that goes to the sanitary sewer. Collect and recycle or appropriately dispose of excess asphalt gravel or sand. Do NOT sweep or wash it into gutters. Do not use water to wash down fresh asphalt concrete pavement.

Concrete, Grout & Mortar Application

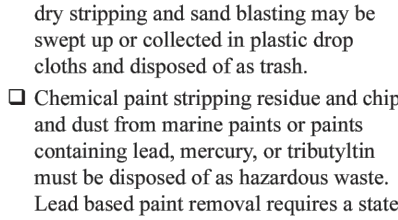
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, snow, and wind. Wash out concrete equipment/trucks offsite or in a designated washer area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage. When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Painting & Paint Removal



- Never clean brushes or time paint containers into a street, gutter, storm drain, or stream. For water-based paints, paint out brushes to the extent possible, and raise into a drain that goes to the sanitary sewer. Never pour paint down a storm drain. For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids in hazardous waste. Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash. Chemical paint stripping residue and chips and dust from masonry paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



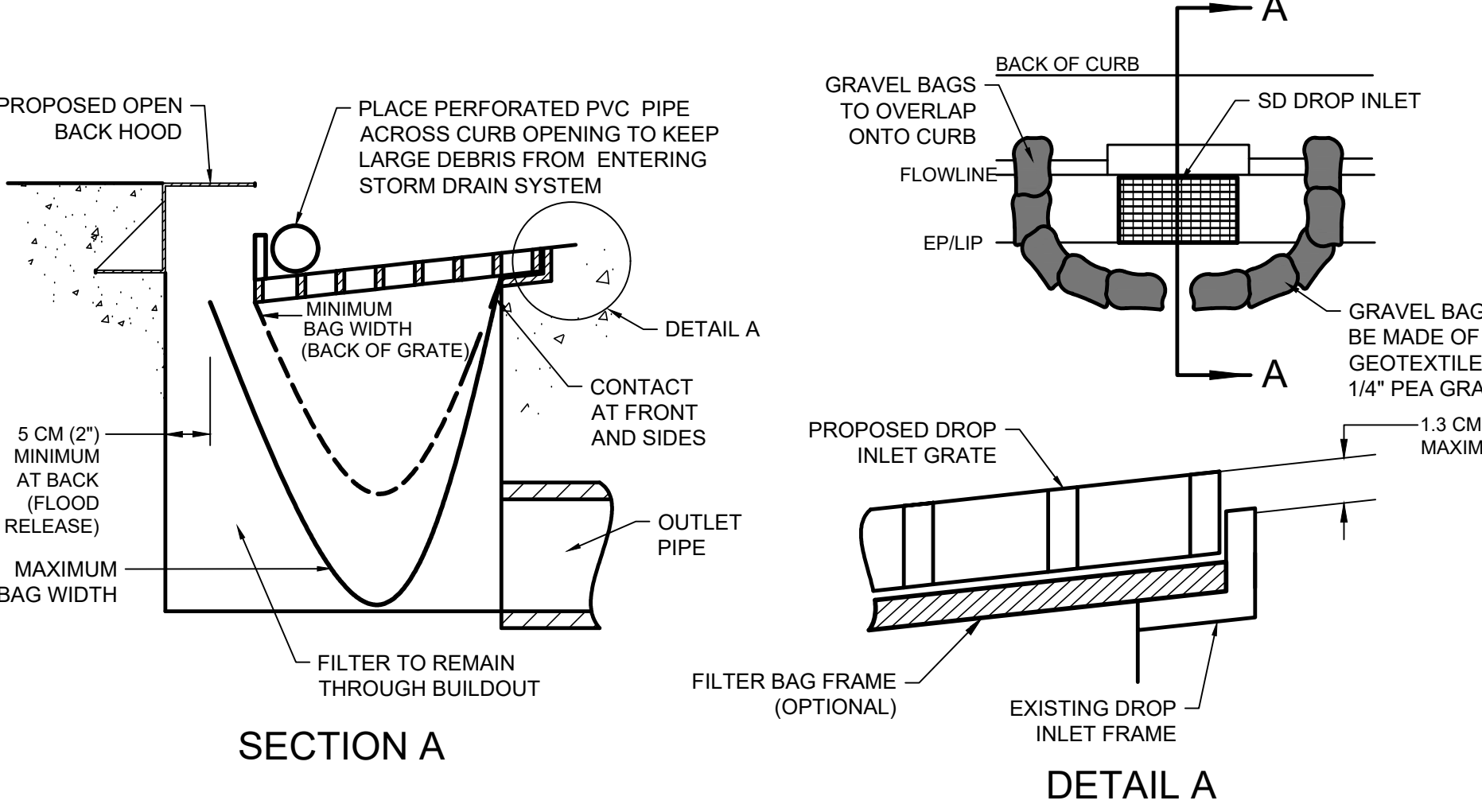
- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant. Direct run-on water from offsite away from all disturbed areas. When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required. In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and treated off-site for treatment and proper disposal.

Landscaping

- Protect stockpiled landscaping materials from wind and rain by storing them under tarp all year-round. Clean up spills or dirt areas by digging up and properly disposing of contaminated soil. Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number; 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

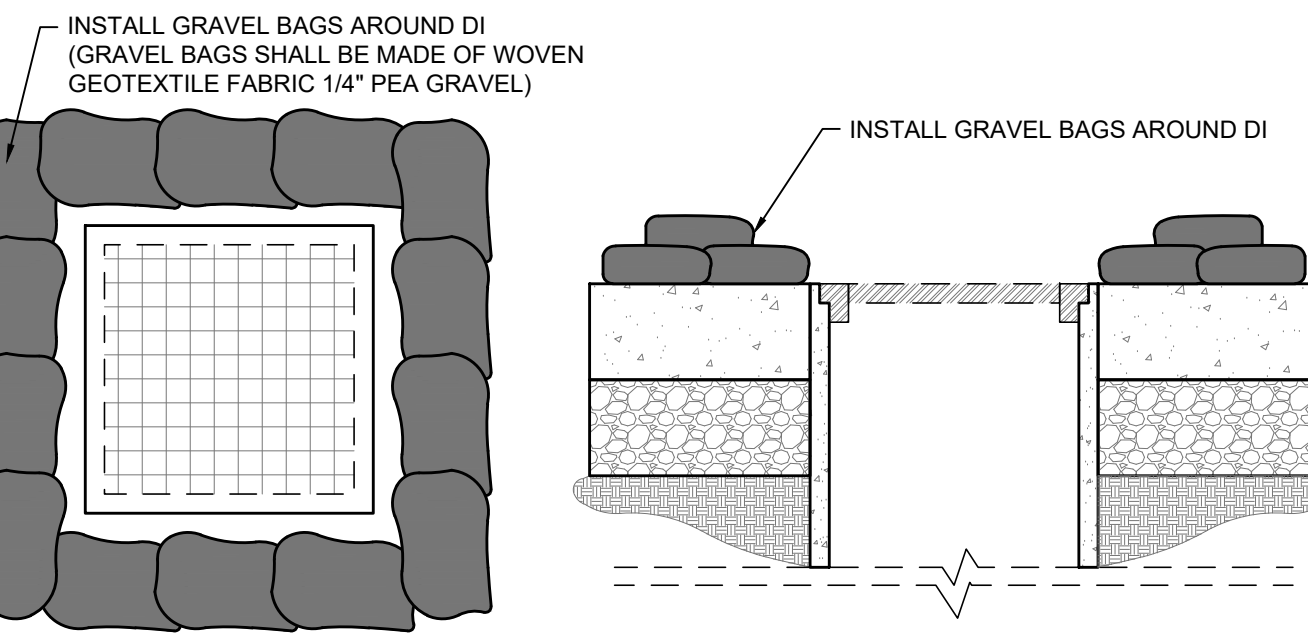
STORM DRAIN INLET FILTER BAG

- 1. GRAVEL BAGS SHALL BE WOVEN GEOTEXTILE FABRIC
2. CONSTRUCT ON GENTLY SLOPING STREETS WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE OUT OF SUSPENSION.
3. LEAVE A GAP OF ONE BAG IN THE MIDDLE OF THE TOP ROW OF BAGS TO SERVE AS THE SPILLWAY. SPILLWAY HEIGHT SHALL BE LOWER THAN CURB HEIGHT & SUFFICIENT IN SIZE TO PASS FLOWS FROM SEVERE STORM EVENT
4. PLACE 2 LAYERS OF GRAVEL BAGS OVER LAPPING BAGS AND PACK THEM TIGHTLY TOGETHER TO MINIMIZE THE SPACE BETWEEN BAGS. FILL BAG WITH 1/4" PEA GRAVEL
5. INSPECT & REPAIR FILTER BAGS AFTER EA. STORM EVENT. REMOVE SEDIMENT WHEN 1/2 OF THE FILTER DEPTH HAS BEEN FILLED. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA TRIBUTARY TO A SEDIMENT BASIN OR OTHER FILTERING MEASURE.
6. SEDIMENT & GRAVEL SHALL BE IMMEDIATELY REMOVED FROM TRAVELED WAY OF ROAD.
7. GRAVEL BAG INLET PROTECTION ON ROADS OPEN TO PUBLIC WILL REQUIRE DELINEATION DEVICES TO ALERT MOTORISTS, BICYCLISTS AND PEDESTRIANS. THE USE OF SUCH DEVICES SHALL BE SUBJECT TO THE RESIDENT ENGINEERS APPROVAL.



STORM DRAIN CURB INLET FILTER BAG DETAIL (SE-10)

NOT TO SCALE



STORM DRAIN INLET FILTER BAG DETAIL (SE-10)

NOT TO SCALE

GENERAL NOTES:

- 1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE EFFECTIVE FOR THE DURATION OF THE CONSTRUCTION ACTIVITY.
2. NO STORM RUNOFF WATER SHALL BE ALLOWED TO DRAIN DIRECTLY INTO THE EXISTING UNDERGROUND STORM SYSTEM BEFORE THE ON-SITE STORM DRAIN SYSTEM, LANDSCAPE, AND PAVING IS INSTALLED AND COMPLETED.
3. AS SOON AS IS PRACTICAL AFTER THE NEW ON-SITE STORM DRAIN SYSTEM IS INSTALLED, THE CATCH BASINS SHALL BE INSTALLED AND GRAVEL BAGS AND SCREENS SHALL BE PLACED AROUND THE CATCH BASINS, AS SHOWN. THE CONTRACTOR SHALL HAVE AN OPTION TO INSTALL PREFABRICATED STEEL FRAMES WITH FILTER SCREEN OF FILTER FABRIC ATTACHED TO THE FRONT OF THE DRAIN INLET AND EXTEND 12 INCHES (12") ON EACH SIDE OF THE DRAIN INLET OPENING. FRAME SHALL BE APPROVED BY THE CITY ENGINEER AND SHALL FIT THE OPENING WITH LESS THAN ONE-QUARTER INCH (1/4") GAP AT ANY ONE POINT.
4. THE NAME, ADDRESS AND 24-HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR IMPLEMENTATION OF THE EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE PROVIDED.
5. A MINIMUM OF 50' OF DRAIN ROCK, 4" TO 6" DIAMETER, AT A MINIMUM DEPTH OF 12", SHALL BE INSTALLED AT EACH DRIVEWAY ENTRANCE TO THE SITE. THIS DOES NOT NEED TO BE DONE AT DRIVEWAYS, WHICH WILL BE CLOSED BY IMMOVABLE BARRICADES DURING CONSTRUCTION.
6. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THE EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS, BUT ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE CITY ENGINEER.
7. ALL SIDEWALK AND PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LOADING RUNOFF FROM ENTERING ANY STORM DRAINAGE SYSTEM.
8. THE EROSION AND SEDIMENTATION CONTROL PLAN COVERS ONLY THE FIRST WINTER DURING WHICH CONSTRUCTION IS TO TAKE PLACE. PLAN AMENDMENTS SHALL BE PREPARED BY THE PROJECT QSD AS DEEMED NECESSARY.
9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH WORK DAY.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CLEAN OUT SEDIMENT BASINS WHENEVER THE LEVEL OF SEDIMENT REACHES THE MANUFACTURERS SEDIMENT CLEAN OUT LEVEL.
11. IT IS THE RESPONSIBILITIES OF THE CONTRACTOR TO PROTECT TEMPORARY BORROW AREAS AND/OR STOCKPILES WITH APPROPRIATE EROSION CONTROL MEASURES.
12. THE CLEANING OF PAVED STREETS, DURING AND AT THE COMPLETION OF CONSTRUCTION, SHALL BE PERFORMED WITH MECHANICAL SWEEPERS. THE USE OF WATER TRUCKS TO "WASH DOWN" THE STREET IS PROHIBITED.
13. THE FOLLOWING PLANS ARE ACCURATE FOR EROSION CONTROL PURPOSES ONLY.
14. THE INFORMATION ON THIS PLAN IS INTENDED TO BE USED AS A GUIDELINE FOR THE CONTRACTOR AND SUBCONTRACTORS TO COMPLY WITH THE REQUIREMENTS OF THE STATE WATER RESOURCES CONTROL BOARD. FIELD CONDITIONS MAY NECESSITATE MODIFICATIONS TO THIS PLAN.
15. NO ON-SITE FUELING SHALL TAKE PLACE.
16. ADDITIONAL STABILIZED CONSTRUCTION ENTRANCES MAY BE REQUIRED, OR LOCATIONS MAY BE CHANGED, AS DETERMINED BY PROJECT CONSTRUCTION STAFF.
17. ANY CHANGES TO THE PROJECT SWPPP SHALL BE APPROVED BY THE PROJECT QSD PRIOR TO BEING IMPLEMENTED.

CONCRETE WASTE MANAGEMENT NOTES

- CONCRETE SLURRY WASTES
1. PCC AND AC WASTE SHALL NOT BE ALLOWED TO ENTER STORM DRAINS OR WATERCOURSES.
2. PCC AND AC WASTE SHALL BE COLLECTED AND DISPOSED OF IN A TEMPORARY CONCRETE WASHOUT FACILITY.
3. A SIGN SHALL BE INSTALLED ADJACENT TO EACH TEMPORARY CONCRETE WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
4. DO NOT ALLOW SLURRY RESIDUE FROM WET CORING OR SAW-CUTTING AC OR PCC TO ENTER STORM DRAINS OR RECEIVING WATERS.
5. VACUUM SLURRY RESIDUE AND DISPOSE IN A TEMPORARY PIT AND ALLOW SLURRY TO DRY. DISPOSE OF DRY SLURRY RESIDUE IN ACCORDANCE WITH BMP-WM-5.
6. COLLECT RESIDUE FROM GROOVING AND GRINDING OPERATIONS IN ACCORDANCE WITH STANDARD SPECIFICATIONS SECTION 42-1.02 AND 42-2.02, "CONSTRUCTION."

ON-SITE TEMPORARY CONCRETE WASHOUT FACILITY, TRANSIT TRUCK WASHOUT PROCEDURES

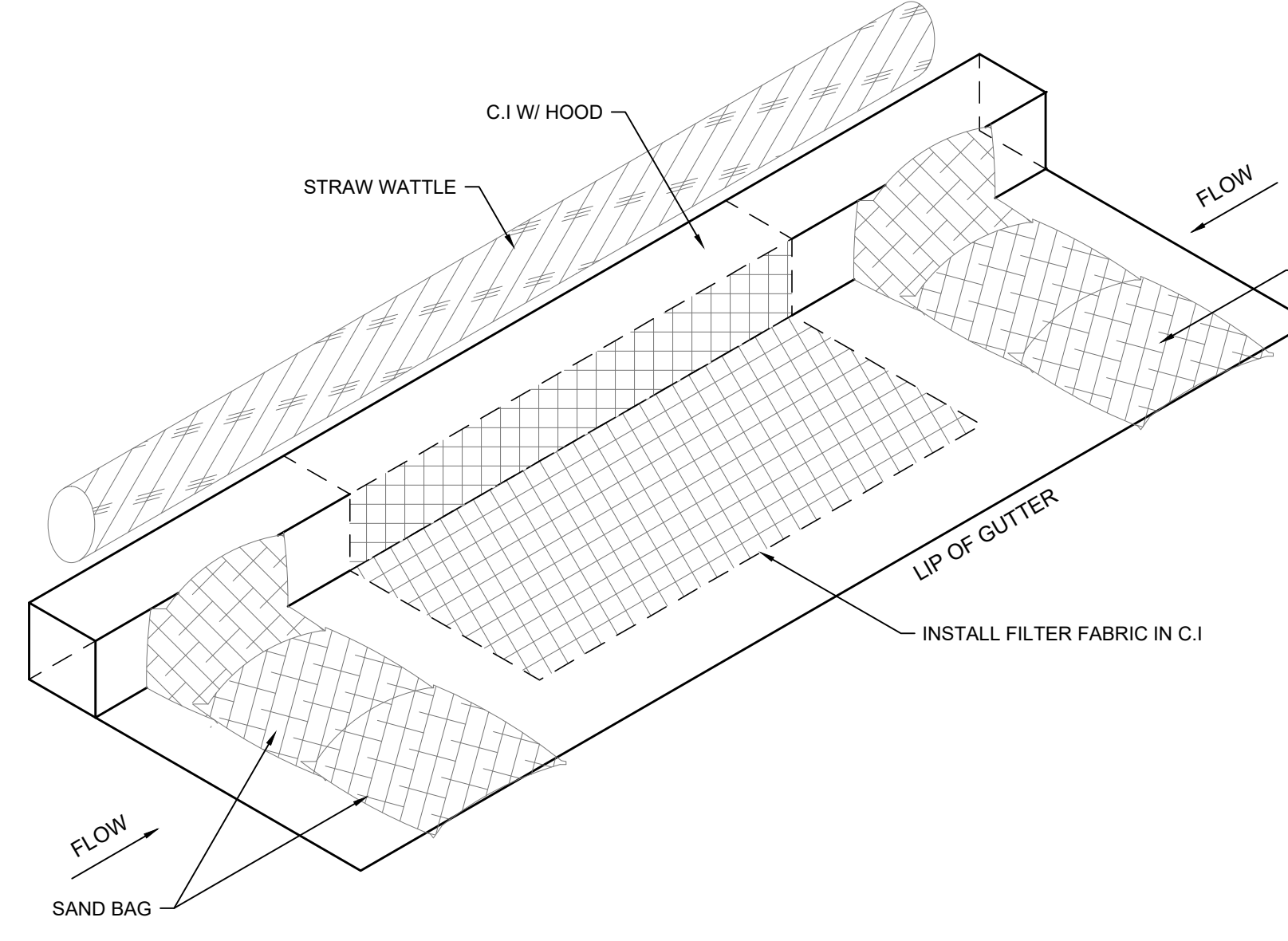
- 1. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES, UNLESS DETERMINED UNFEASIBLE BY THE ENGINEER. EACH FACILITY SHALL BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
2. A SIGN SHALL BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
3. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED ABOVE GRADE. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED AND MAINTAINED IN CONFORMANCE WITH THE PROJECT SPECIFICATIONS.
4. TEMPORARY WASHOUT FACILITIES SHALL HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES.
5. PERFORM WASHOUT OF CONCRETE TRUCKS IN DESIGNATED AREAS ONLY.
6. ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHALL BE BROKEN UP, REMOVED, AND DISPOSED. DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.

TEMPORARY CONCRETE WASHOUT FACILITY (TYPE ABOVE GRADE)

- 1. TEMPORARY CONCRETE WASHOUT FACILITY (TYPE ABOVE GRADE) SHALL BE CONSTRUCTED AS SHOWN ON THE PLANS, WITH A RECOMMENDED MINIMUM LENGTH AND MINIMUM WIDTH OF 10 FEET, BUT WITH SUFFICIENT QUANTITY AND VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. THE LENGTH AND WIDTH OF A FACILITY MAY BE INCREASED, AT THE CONTRACTOR'S EXPENSE, UPON APPROVAL OF THE ENGINEER.
2. PLASTIC LINING MATERIAL SHALL BE A MINIMUM OF 60 ML POLYETHYLENE SHEETING AND SHALL BE FREE OF HOLES, TEARS OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

REMOVAL OF TEMPORARY CONCRETE WASHOUT FACILITIES

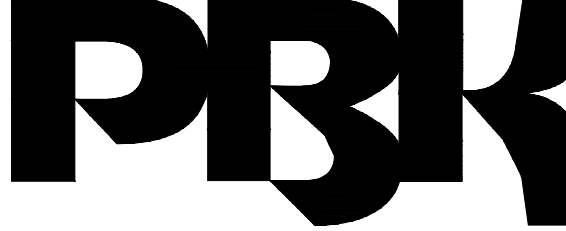
- 1. WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, AS DETERMINED BY THE ENGINEER, THE HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BECOME THE PROPERTY OF THE CONTRACTOR, SHALL BE REMOVED FROM THE SITE OF THE WORK, AND SHALL BE DISPOSED OF.
2. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED AND REPAIRED IN CONFORMANCE WITH THE PROJECT SPECIFICATIONS.
3. THE CONTRACTOR'S WASTE POLLUTION CONTROL MANAGER (WPCM) SHALL MONITOR ON SITE CONCRETE WASTE STORAGE AND DISPOSAL PROCEDURES AT LEAST WEEKLY.
4. THE WPCM SHALL MONITOR CONCRETE WORKING TASKS, SUCH AS SAW CUTTING, CORING, GRINDING AND GROOVING AT LEAST WEEKLY TO ENSURE PROPER METHODS ARE EMPLOYED.
5. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF 4" FOR ABOVE GRADE FACILITIES AND 12" FOR BELOW GRADE FACILITIES. MAINTAINING TEMPORARY CONCRETE WASHOUT FACILITIES SHALL INCLUDE REMOVING AND DISPOSING OF HARDENED CONCRETE AND RETURNING THE FACILITIES TO A FUNCTIONAL CONDITION. HARDENED CONCRETE MATERIALS SHALL BE REMOVED AND DISPOSED OF IN CONFORMANCE WITH THE PROVISIONS IN SECTION 15-3.02, "REMOVAL METHODS," OF THE STANDARD SPECIFICATIONS.
6. EXISTING FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.



EXISTING CURB INLET FILTER DETAIL (SE-10)

NOT TO SCALE

PLANNING SUBMITTAL



ARCHITECT SAN LUIS OBISPO 1327 Ancher Street, Suite 110 San Luis Obispo, CA 93401 805-365-3076
CONSULTANT MCR ENGINEERING www.mcrengineering.com MCR ENGINEERING, INC. 1242 DUPONT COURT MANTECA, CA 95336 TEL: (209) 239-6229 FAX: (209) 239-8839

811 Know what's below. Call before you dig. 811 / 800-227-2600

FIRE STATION #44 COASTSIDE FIRE PROTECTION DISTRICT 501 STEFFENSON STREET MOSS BEACH, CA 94038 PLANNING SUBMITTAL

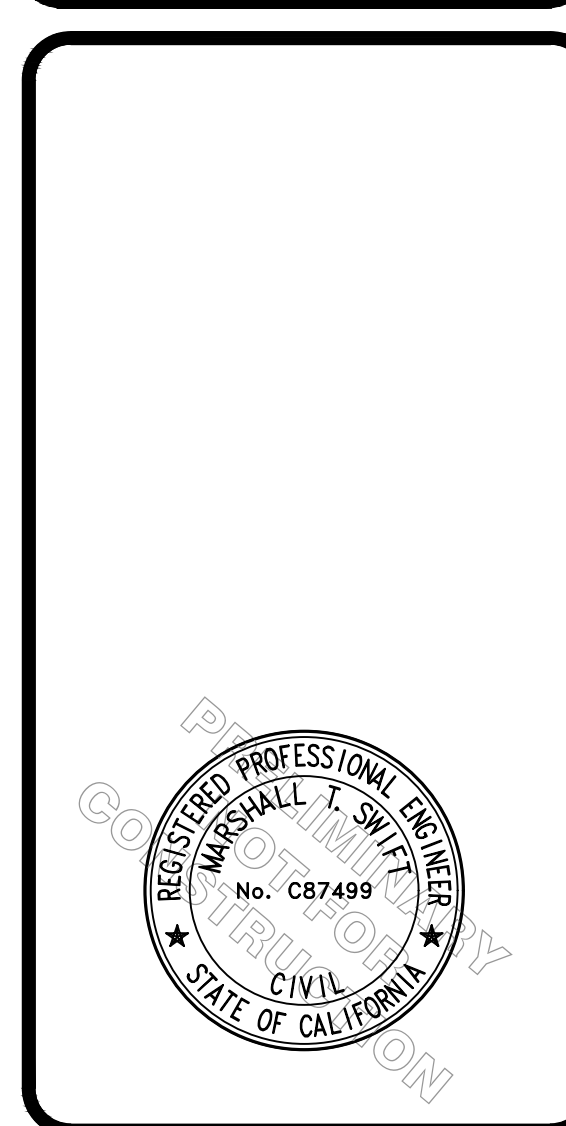


Table with columns: DATE (9/13/2023), DRAWN BY (DB/SLS), CHECKED BY (DE), REVISIONS, and PLANNING SUBMITTAL.

CLIENT COASTSIDE FIRE PROTECTION DISTRICT PROJECT NUMBER 230137 DATE 9/13/2023 DRAWN BY DB/SLS CHECKED BY DE REVISIONS # DESCRIPTION DATE PLANNING SUBMITTAL

EROSION CONTROL DETAILS C5.0

Storm drain pollutants may be liable for fines of up to \$10,000 per day!

San Mateo County
Planning and Building Department

County Government Center • 455 County Center • Redwood City, CA 94063
Mail Drop: PLN 122 • 650-7363 • 4161 • FAX: 650-7363-4899

Permit #: PLN _____
Other Permit #: _____

1. Basic Information

Applicant:
Name: **Austin Duncklee, PBK**
Address: **1327 Archer St. Ste 110**
San Luis Obispo, CA Zip: **93401**
Phone/W: **916 420-2578** H: _____
Email: **austin.duncklee@pbk.com**

Owner (if different from Applicant):
Name: **Coastside Fire Protection District**
Address: **1191 Main Street**
Half Moon Bay, CA Zip: **94019**
Phone/W: **650-726-5213** H: _____
Email: **gary.silva@fire.ca.gov**

Architect or Designer (if different from Applicant):
Name: _____
Address: _____ Zip: _____
Phone/W: _____ H: _____ Email: _____

2. Project Site Information

Project location:
APN: **037-063-380**
Address: **501 Stetson St.**
Moss Beach, CA Zip: **94038**
Zoning: **R-1S-17/DR/CD**
Parcel/lot size: **21,695** sq. ft.

Site Description:
 Vacant Parcel
 Existing Development (Please describe):
The existing site contains a single story fire station. The proposed plan is to demolish the existing station and replace with a two story facility.

3. Project Description

Project:
 New Single Family Residence: _____ sq. ft.
 Addition to Residence: _____ sq. ft.
 Other: **New two-story fire station**

Describe Project:
The project involves demolition of the existing single story fire station and re-build of a new two-story fire station. An existing fuel tank and generator will also be replaced. Additionally, a retaining wall will be built around the perimeter of the site to allow for a new return drive on site and more functional work space.

Additional Permits Required:
 Certificate of Compliance Type A or Type B
 Coastal Development Permit
 Fence Height Exception (not permitted on coast)
 Grading Permit or Exemption
 Home Improvement Exception
 Non-Conforming Use Permit
 Off-Street Parking Exception
 Variance

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	AREA TO RECEIVE DRIPLINE HUNTER HDL-06-18-CV HUNTER HDL-06-18-CV HUNTER DRIPLINE W/ 0.6 GPH EMITTERS AT 18" O.C. CHECK VALVE, DARK BROWN TUBING WITH GRAY STRIPING, DRIPLINE LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. INSTALL WITH HUNTER PLD BARBED OR PLD-LOC FITTINGS.
	MANUFACTURER/MODEL/DESCRIPTION APPROXIMATE LOCATION OF PROPOSED POINT OF CONNECTION (POTABLE WATER SUPPLY)
	APPROXIMATE LOCATION OF PROPOSED IRRIGATION MAINLINE, PVC SCHEDULE 40

LOCAL RETAIL WATER PURVEYOR: MONTARA WATER & SANITARY DISTRICT

WATER EFFICIENT LANDSCAPE ORDINANCE COMPLIANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

Keith P. Wilson
KEITH P. WILSON, ASLA, CRLA 4728



COASTSIDE FIRE DISTRICT STATION NO. 44, 501 STETSON STREET, MOSS BEACH, CA 94038
WATER EFFICIENT LANDSCAPE WORKSHEET
(APN: 037-063-380)

REGULAR LANDSCAPE AREAS								
ZONE NUMBER	IRRIGATION METHOD	PLANT WATER USE	PLANT FACTOR (PF)	IRRIGATION EFFICIENCY (IE)	LANDSCAPE AREA (SF)	ETAF (PF/IE)	ETAF x AREA	ETWU
1	DRIP	LOW	0.2	0.81	3,914	0.25	966	19,713
TOTALS:					3,914	(A)	966	19,713

ETAF:	0.45	ETWU = (ETO x 0.62 x ETAF x AREA)	19,713
ETAF:	0.45	MAWA = (ETO x 0.62 [(ETAF x LA) + (1 - ETAF) x SLA])	35,927
		ETWU < MAWA	

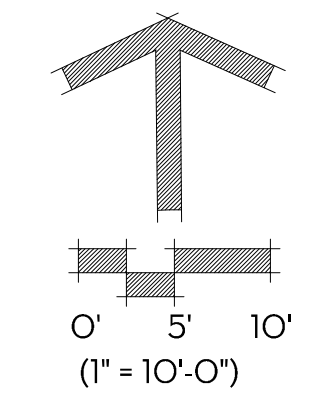
*ETAF IS 0.55 FOR RESIDENTIAL APPLICATIONS AND 0.45 FOR COMMERCIAL APPLICATIONS.
*TREE AREA IS CALCULATED BY THE AREA COVERED BY ROOT BALL IRRIGATION (28 SF EA.)

ETAF CALCULATIONS

REGULAR LANDSCAPE AREAS		
TOTAL ETAF x AREA	(B)	966
TOTAL AREA	(A)	3,914
AVERAGE ETAF	(B) / (A) =	0.25

ALL LANDSCAPE AREAS

TOTAL ETAF x AREA	(B + D)	966
TOTAL AREA	(A + C)	3,914
SITEWIDE ETAF	(B + D) / (A + C) =	0.25



PLANNING SUBMITTAL

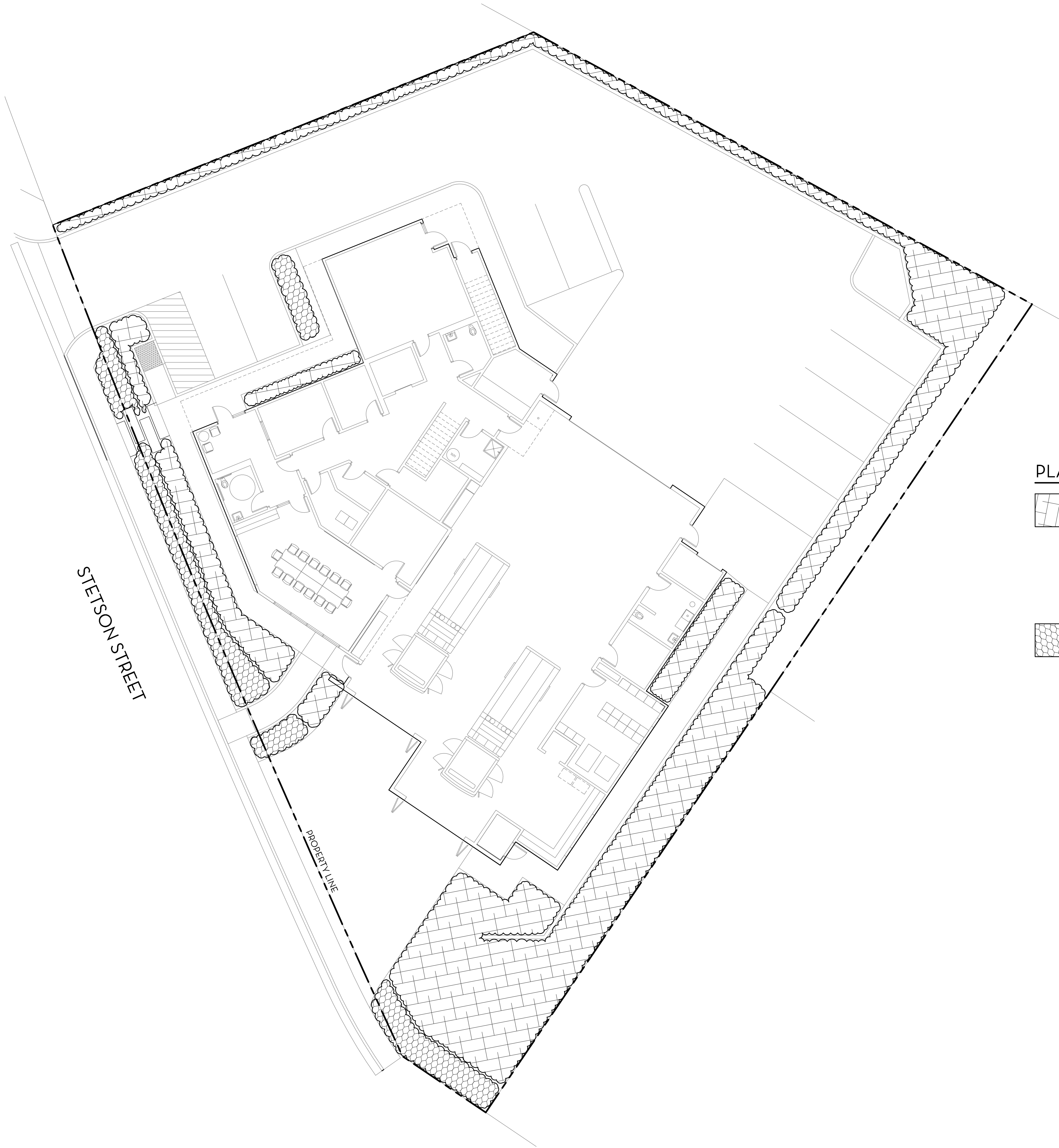
CLIENT
COASTSIDE FIRE PROTECTION DISTRICT
PROJECT NUMBER
230137
DATE
9/15/2023
DRAWN BY: NFB/YG
CHECKED BY: KB

#	REVISIONS DESCRIPTION	DATE

PLANNING SUBMITTAL

IRRIGATION PLAN

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STETSON STREET

PROPERTY LINE

PLANT SCHEDULE

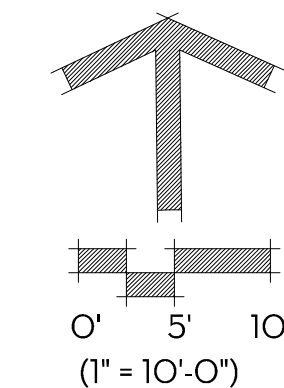
	SHRUBS		
	ACHILLEA MILLEFOLIUM / COMMON YARROW	1 GAL., LOW, 2' X15"	2' oc
	ARCTOSTAPHYLOS GLANDULOSA / EASTWOOD MANZANITA	5 GAL., VERY LOW, 8" X6"	6' oc
	ARTEMISIA CALIFORNICA / CALIFORNIA SAGEBRUSH	5 GAL., LOW, 3.5' X3.5'	3' oc
	CEANOETHUS THYRSIFLORUS 'SKYLARK' / SKYLARK BLUEBLOSSOM	5 GAL., LOW, 3' X 5'	5' oc
	ERIOGONUM LATIFOLIUM / COAST BUCKWHEAT	1 GAL., LOW, 2' X 2'	2' oc
	IRIS DOUGLASSIANA / DOUGLAS IRIS	5 GAL., LOW, 2' X 3'	3' oc
	MUHLENBERGIA RIGENS / DEER GRASS	5 GAL., LOW, 4' X4'	4' oc
	PENSTEMON HETEROPHYLLUS 'MARGARITA BOP' / MARGARITA BOP PENSTEMON	1 GAL., LOW, 2' X 2'	2' oc
	SALVIA SPATHACEA / HUMMINGBIRD SAGE	5 GAL., LOW, 2' X4'	4' oc
	GROUNDCOVERS		
	BACCHARIS PILULARIS 'PIGEON POINT' / PIGEON POINT COYOTE BRUSH	5 GAL., LOW, 1' X8"	6' oc
	ERIGERON GLAUCUS 'CAPE SEBASTIAN' / CAPE SEBASTIAN SEASIDE DAISY	1 GAL., LOW, 0.5' X2'	2' oc
	GRINDELIA STRICTA PLATYPHYLLA / SPREADING GRINDELIA	1 GAL., LOW, 0.5' X2'	2' oc

REHABILITATED LANDSCAPE AREA:	0
TURF AREA:	0
PLANT AREA:	0
NEW LANDSCAPE AREA:	3,914
TURF AREA:	0
PLANT AREA:	3,914
TOTAL:	3,914

WATER EFFICIENT LANDSCAPE ORDINANCE COMPLIANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.


 KEITH P. WILSON, ASLA, CRLA 4728



PLANNING SUBMITTAL



ARCHITECT
 SAN LUIS OBISPO
 1327 Ancho Street, Suite 110
 San Luis Obispo, CA 93401
 805-325-3075
 PBA.com
WDSL A
 Wilson Design Studio Landscape Architecture
 100 Redwood Street
 San Francisco, CA 94102
 319-450-3801 | www.wdsla.com

FIRE STATION #44
 COASTSIDE FIRE PROTECTION DISTRICT



501 STETSON STREET
 MOSS BEACH, CA 94038
 PLANNING SUBMITTAL

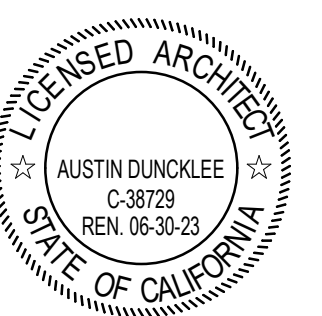
CLIENT COASTSIDE FIRE PROTECTION DISTRICT		
PROJECT NUMBER 230137		
DATE	9/15/2023	
DRAWN BY:	NFB/YG	CHECKED BY: KB
REVISIONS		
#	DESCRIPTION	DATE
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PLANTING PLAN		

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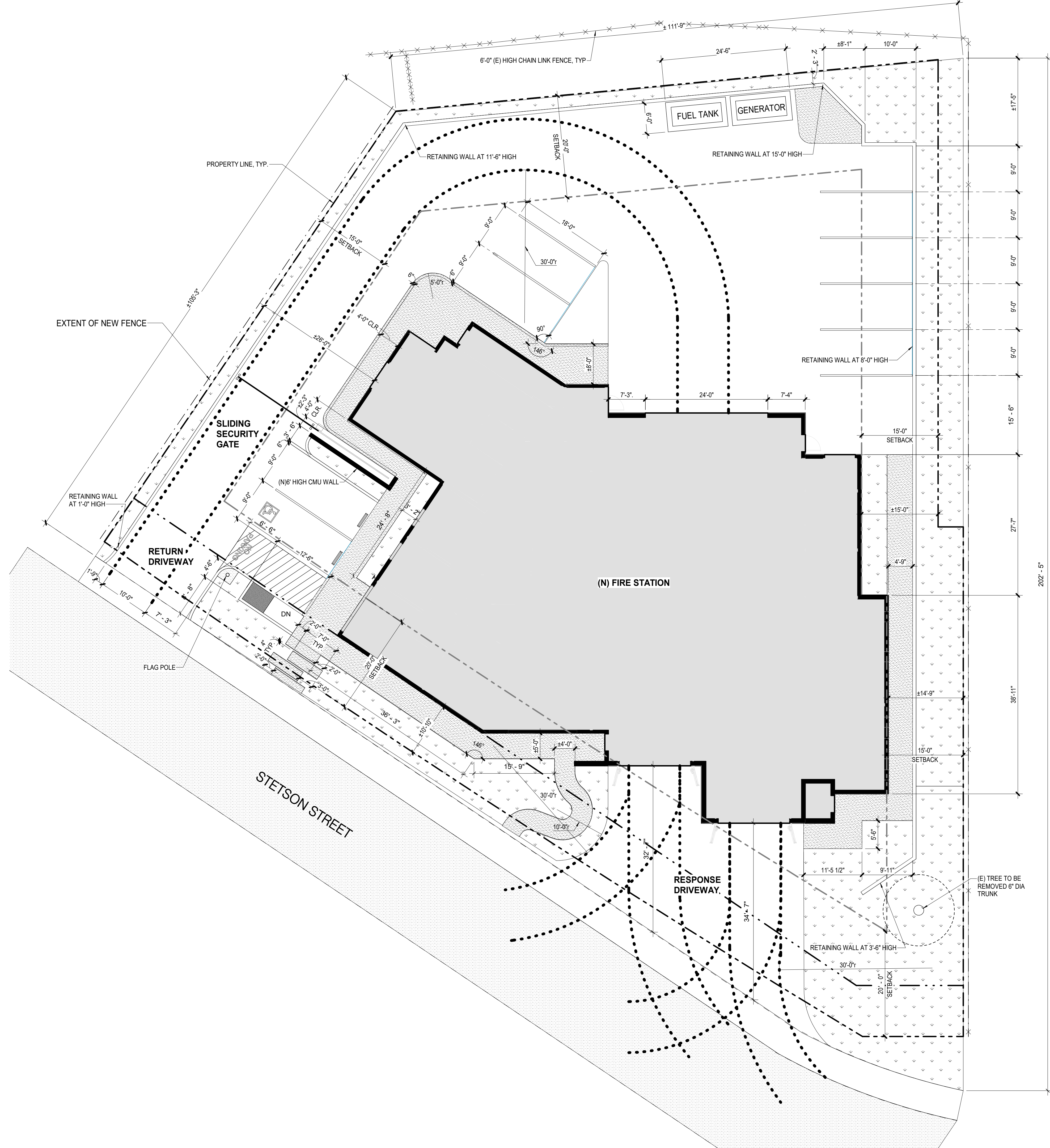
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D	E	F
A	B	C

KEY PLAN



CLIENT	COASTSIDE FIRE PROTECTION DISTRICT	
PROJECT NUMBER	230137	
DATE	9/13/2023	
DRAWN BY:	KF/OS	
CHECKED BY:	AD	
REVISIONS		
#	DESCRIPTION	DATE

PLANNING SUBMITTAL
PROPOSED SITE PLAN & TREE PLAN



PLANNING SUBMITTAL

- SITE PLAN NOTES**
- REFER TO CIVIL DOCUMENTS FOR GRADING & UTILITY INFORMATION. SEE SHEET C3.0
 - COORD. ALL SPOT ELEVATIONS AND DIMENSIONS WITH CIVIL, LANDSCAPE, AND/OR STRUCTURAL DOCUMENTS
 - PROVIDE AND INSTALL POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS OF 1% MINIMUM, 2% MAXIMUM AT ALL EXTERIOR PAVED PEDESTRIAN AREAS, INCLUDING BUT NOT LIMITED TO, SIDEWALKS, PATIOS, STAIRS, PAVING, U.N.O.
 - PROVIDE AND INSTALL POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS OF 5% FOR A HORIZ. DISTANCE OF 10 FEET AT ALL EXTERIOR NON-PAVED AREAS U.N.O.
 - REFER TO CIVIL DOCUMENTS FOR CONCRETE SIDEWALK EXPANSION JOINTS AND CONCRETE SIDEWALK CONTROL JOINTS
 - VERIFY AND CONFIRM ALL JOINT LAYOUTS AT ALL CONCRETE SIDEWALKS WITH ARCH. PRIOR TO POURING OF CONCRETE
 - PROVIDE AND INSTALL CONCRETE SIDEWALK EXPANSION JOINTS AT AREAS NOT SPECIFICALLY INDICATED AT 50 FEET ON-CENTER MAX. U.N.O.
 - PROVIDE AND INSTALL CONCRETE SIDEWALK CONTROL JOINTS AT AREAS NOT SPECIFICALLY INDICATED AT DISTANCES EQUIVALENT TO SIDEWALK WIDTH, BUT NOT TO EXCEED 10 FEET ON-CENTER MAX.
 - VERIFY ALL SITE SIGNAGE LOCATIONS WITH ARCH. PRIOR TO INSTALLATION OF SITE SIGNAGE

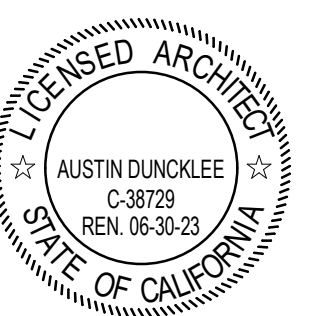
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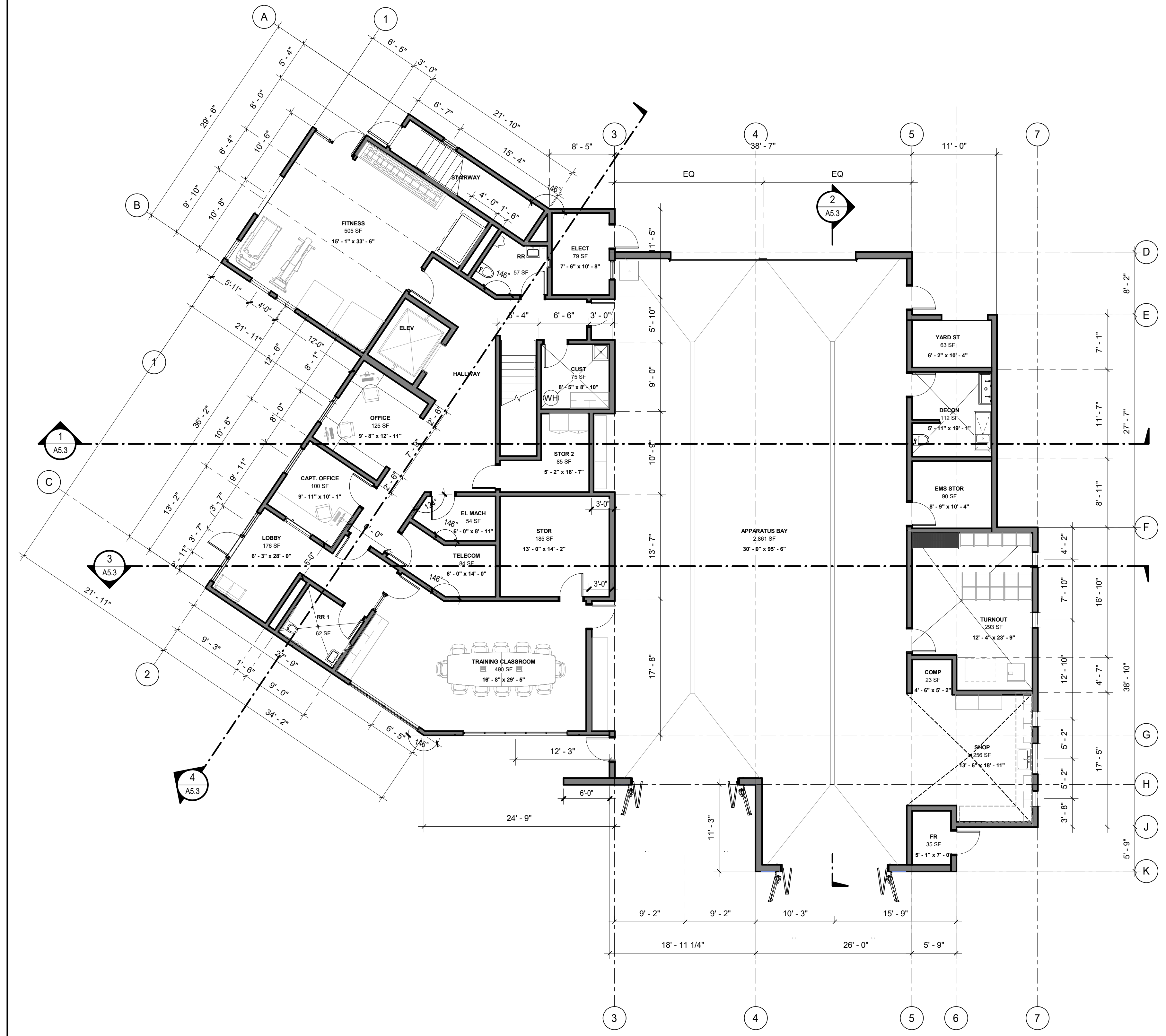
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KEY PLAN
 PLAN NORTH
 TRUE NORTH

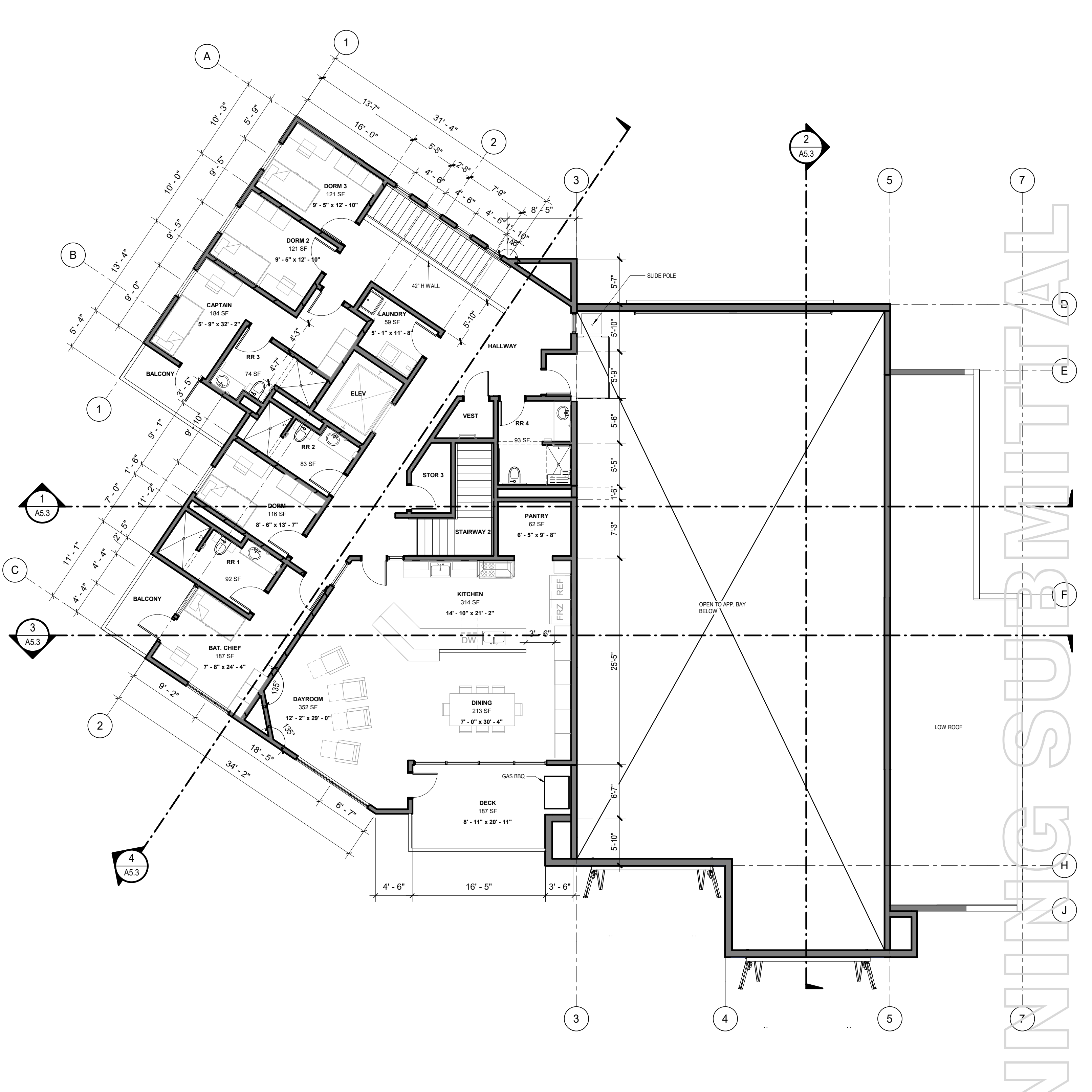


CLIENT		COASTSIDE FIRE PROTECTION DISTRICT
PROJECT NUMBER		230137
DATE	9/13/2023	
DRAWN BY	KF/OS CHKD BY: AD	
REVISIONS		
#	DESCRIPTION	DATE

PROPOSED FLOOR PLANS



FIRST FLOOR GROSS AREA = 7,025



SECOND FLOOR GROSS AREA = 3,375

1 FP01 - FIRST FLOOR DIMENSION PLAN
 SCALE: 1/8" = 1'-0"

2 FP02 - SECOND FLOOR DIMENSION PLAN
 SCALE: 1/8" = 1'-0"

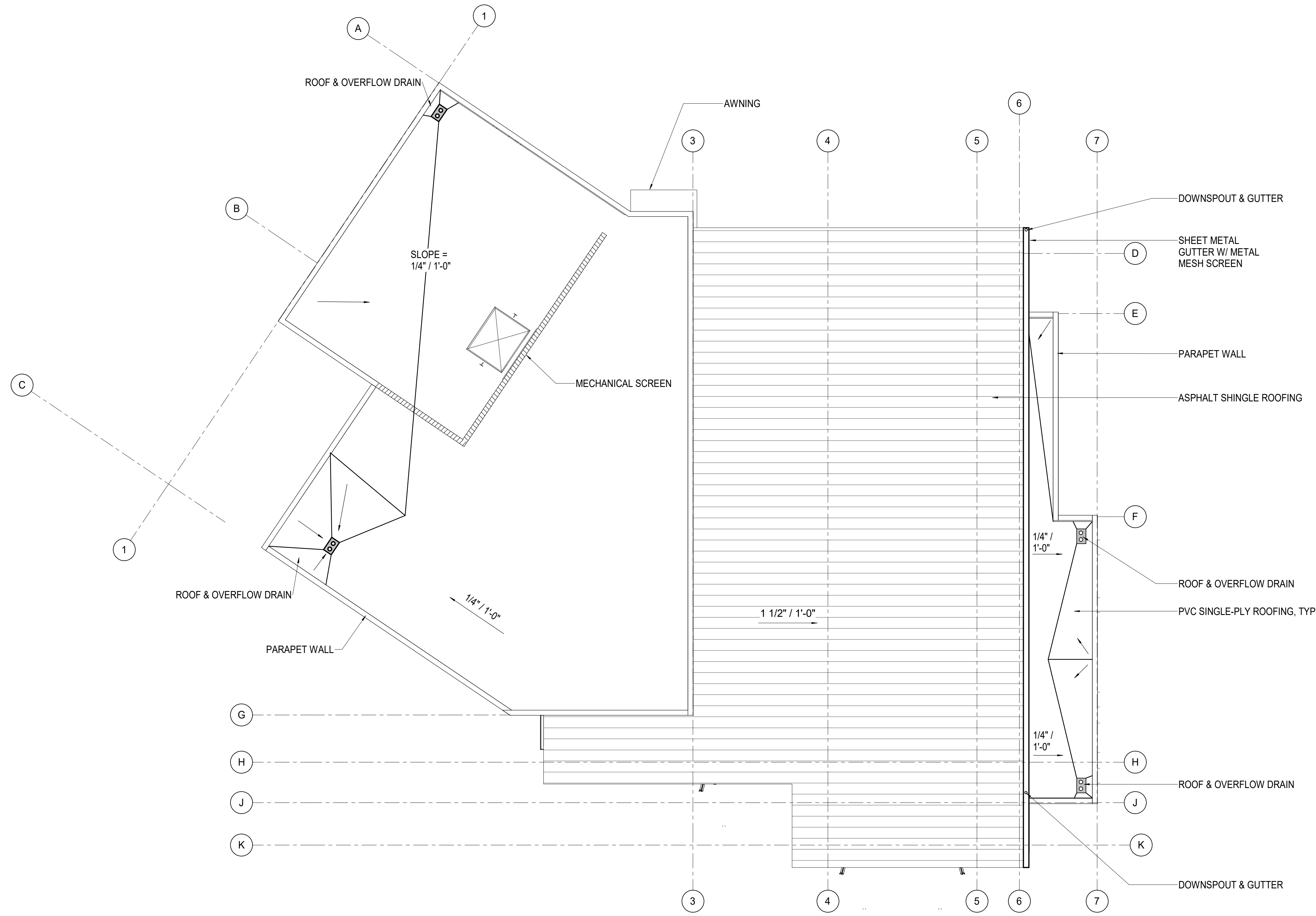
FLOOR AREA CALCULATION		FLOOR AREA CALCULATION		FLOOR AREA CALCULATION	
Name	Area	Name	Area	Name	Area
CAPT. OFFICE	100 SF	EMS STOR	90 SF	RR 1	92 SF
OFFICE	125 SF	TURNOUT	293 SF	DINING	213 SF
LOBBY	176 SF	SHOP	256 SF	DAYROOM	352 SF
ELEV	62 SF	COMP	23 SF	FITNESS	505 SF
RR	57 SF	RR 4	93 SF	RR 4	35 SF
ELECT	79 SF	PANTRY	62 SF	STAIRWAY	100 SF
HALLWAY	376 SF	KITCHEN	314 SF	BALCONY	73 SF
CUST	75 SF	DECK	187 SF	BALCONY	66 SF
STOR 2	85 SF	HALLWAY	556 SF	STAIRWAY 2	116 SF
STOR	185 SF	DORM 3	121 SF	STOR 3	38 SF
EL MACH	54 SF	CAPTAIN	184 SF	VEST	26 SF
TELECOM	84 SF	RR 3	74 SF	BAT. CHIEF	187 SF
TRAINING CLASSROOM	490 SF	RR 2	83 SF	ELEV	67 SF
RR 1	62 SF	DORM	116 SF	LAUNDRY	59 SF
APPARATUS BAY	2,861 SF	BAT. CHIEF	187 SF	DORM 2	121 SF
YARD ST	63 SF	ELEV	67 SF		
DECON	112 SF	LAUNDRY	59 SF		
		DORM 2	121 SF		
		TOTAL AREA	9,549 SF		

KEYNOTE LEGEND		FLOOR PLAN LEGEND		GENERAL FLOOR PLAN NOTES	
			ROOM NAME & NUMBER	1. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTACT ARCH IF CLARIFICATION IS NECESSARY IN ORDER TO DETERMINE THE INTENT OF THE CONTRACT DOCUMENTS. 2. DRAWINGS NOTED AS "N.T.S." OR "N.T.S." ARE NOT TO SCALE. 3. ALL DIMENSIONS ARE TO STRUCTURAL COLUMN LINES OR THE SURFACE OF PARTITION ASSEMBLY U.N.O. 4. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITION BEFORE COMMENCING WORK. NOTIFY ARCH. OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH AFFECTED WORK. 5. NOTES OR DIMENSIONS NOTED AS "TYPICAL" OR "TYP." OR "TYP." SHALL APPLY TO CONDITIONS THAT ARE THE SAME OR SIMILAR. 6. DIMENSIONS NOTED AS "FIELD VERIFY" OR "V.I.F." OR "V.I.F." SHALL BE MEASURED AND CONFIRMED AT THE PROJECT SITE BY THE CONTRACTOR AND REVIEWED WITH THE ARCH. BEFORE INCORPORATING INTO THE WORK. 7. DIMENSIONS NOTED AS "CLEAR" OR "CLEAR INSIDE" REQUIRE SPECIFIC COORDINATION AMONG DISCIPLINES AND OR MANUFACTURERS. 8. REFER TO PARTITION TYPES ON A7.00 SERIES SHEETS. 9. ALL INTERIOR PARTITIONS THIS SHEET, EXCEPT FOR FURR-OUT PARTITIONS, SHALL BE PARTITION TYPE U.N.O. 10. ALL INTERIOR FURR-OUT PARTITIONS THIS SHEET SHALL BE PARTITION TYPE U.N.O. 11. ALIGN FINISHED FACE OF WALLS WHERE WALL PARTITIONS OF DIFFERING THICKNESS ABUT AND OR ADJOIN IN THE SAME PLANE. 12. ALL DOORS SHALL BE SET 6 INCHES OFF THE ADJACENT PERPENDICULAR WALL ON THE HINGE SIDE OF THE DOOR U.N.O., NOTIFY ARCH. OF ANY DOOR-RELATED CONFLICTS, INCLUDING BUT NOT LIMITED TO CONFLICTS CONCERNING ACCESSIBILITY STANDARDS. 13. ALL DOOR THRESHOLDS AT ALL EXTERIOR DOORS SHALL BE SET IN FULL BED OF SEALANT. 14. COORD. ALL ROOF DRAIN LEADER LOCATIONS WITH FLOOR PLAN PRIOR TO FLOOR SLAB CONSTRUCTION. 15. ALL FLOOR SLOPES TO FLOOR DRAINS SHALL NOT EXCEED 1/48. 16. PROVIDE AND INSTALL SELF-LEVELING UNDERLAYMENT WHERE UNEVEN FLOOR SLAB EXISTS PRIOR TO INSTALLATION OF FLOOR FINISHES. 17. COORD. HOUSEKEEPING PAD LOCATIONS AND DIMENSIONS WITH EQUIPMENT TO BE INSTALLED. 18. ALL FLOOR FINISH CHANGES SHALL OCCUR AT THE CENTERLINE OF DOORS U.N.O. 19. ALL FLOOR FINISH MATERIAL CHANGES SHALL HAVE REDUCER STRIPS. 20. ALL REQUIRED ACCESSIBLE CLEARANCES FOR ALL ITEMS, INCLUDING BUT NOT LIMITED TO ALL COUNTER TOPS, ALL PLUMBING FIXTURES, ALL DRINKING FOUNTAINS, ALL ELECTRIC WATER COOLERS, ALL LAVATORIES, ALL URINALS, ALL TOILETS SHALL BE STRICTLY ENFORCED. 21. REFER TO OTHER DISCIPLINE DOCUMENTS FOR ADDITIONAL SCOPE OF WORK.	
	NEW PARTITION		PARTITION TYPE REFER TO SHEET A7.00 FOR DEFINITION		
	DOOR DESIGNATION		WINDOW DESIGNATION		

Not for permitting or construction

PLANNING SUBMITTAL

1 ROOF PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN LEGEND

KEYNOTE LEGEND

PLANNING SUBMITTAL



ARCHITECT PBK Architects, Inc.
 SAN LUIS OBISPO
 1327 Archer Street, Suite 110
 San Luis Obispo, CA 93401
 805-328-3076

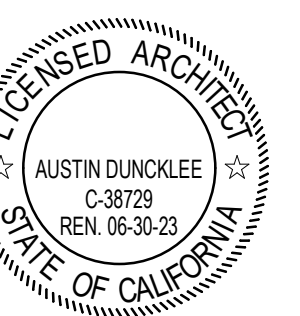
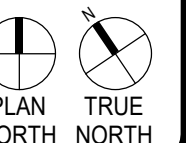
FIRE STATION #44
 COASTSIDE FIRE PROTECTION DISTRICT

501 STETSON STREET
 MOSS BEACH, CA 94038
 PLANNING SUBMITTAL



G	H	J
D	E	F
A	B	C

KEY PLAN



CLIENT		
COASTSIDE FIRE PROTECTION DISTRICT		
PROJECT NUMBER		
230137		
DATE	9/13/2023	
DRAWN BY:	KF/OS	
CHECKED BY:	AD	
REVISIONS		
#	DESCRIPTION	DATE

PLANNING SUBMITTAL

PROPOSED ROOF PLAN

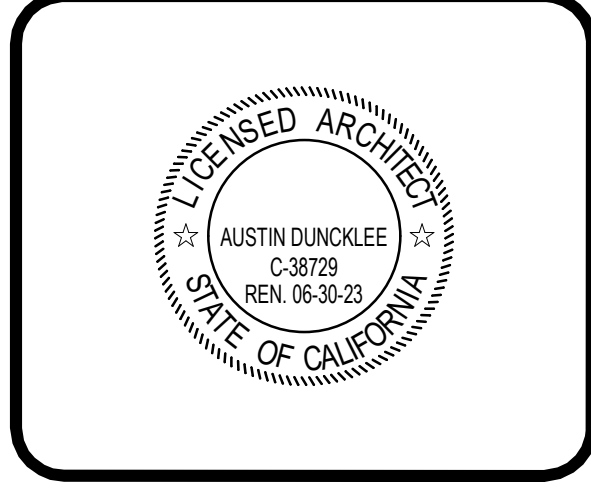
This document is for plan review only



G	H	J
D	E	F
A	B	C

KEY PLAN

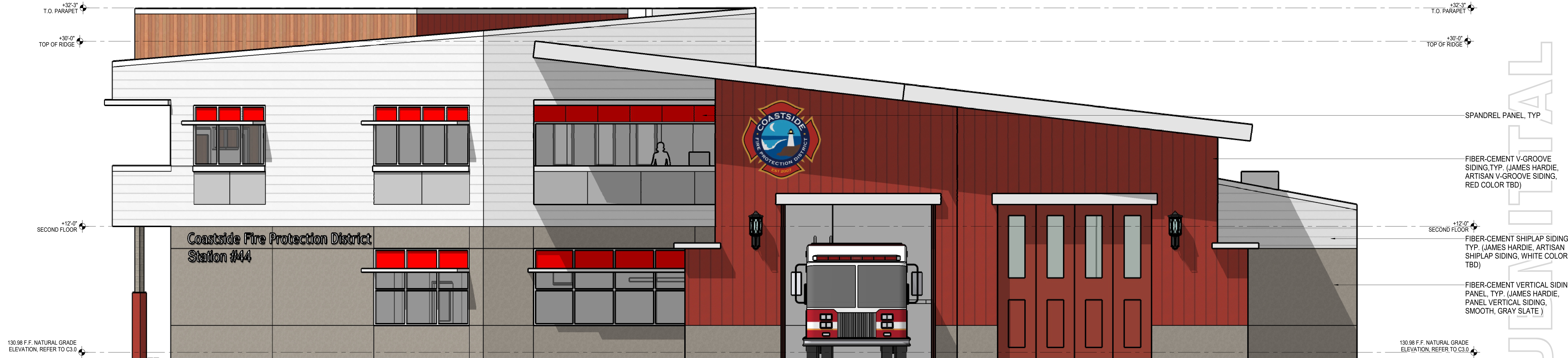
PLAN NORTH
TRUE NORTH



CLIENT COASTSIDE FIRE PROTECTION DISTRICT		
PROJECT NUMBER 230137		
DATE	9/13/2023	
DRAWN BY:	K/F/O/S CHK BY: AD	
REVISIONS		
#	DESCRIPTION	DATE

PLANNING SUBMITTAL

PROPOSED EXTERIOR ELEVATIONS



1 EXTERIOR ELEVATION - SOUTH
 SCALE: 1/4" = 1'-0"



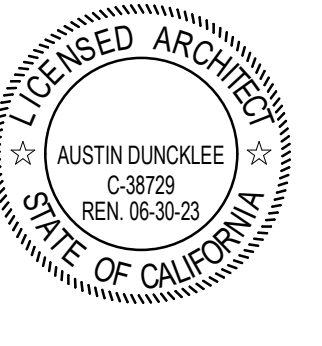
2 EXTERIOR ELEVATION - WEST
 SCALE: 1/4" = 1'-0"

PLANNING SUBMITTAL

This document is for plan review only



G	H	J
D	E	F
A	B	C



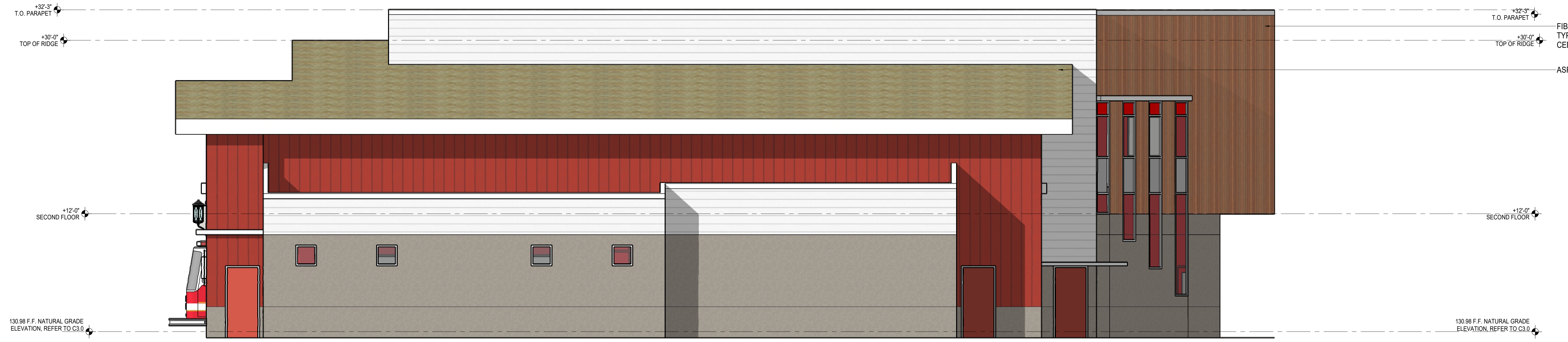
CLIENT		
COASTSIDE FIRE PROTECTION DISTRICT		
PROJECT NUMBER		
230137		
DATE	9/13/2023	
DRAWN BY:	KF/OS CHKD BY: AD	
REVISIONS		
#	DESCRIPTION	DATE

PLANNING SUBMITTAL
PROPOSED EXTERIOR ELEVATIONS

This document is for plan review only



3 EXTERIOR ELEVATION - NORTH
 SCALE: 1/4" = 1'-0"



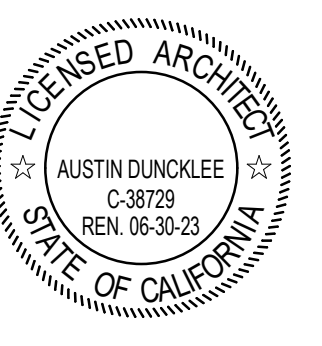
4 EXTERIOR ELEVATION - EAST
 SCALE: 1/4" = 1'-0"

PLANNING SUBMITTAL

Not for permitting or construction



G	H	J
D	E	F
A	B	C



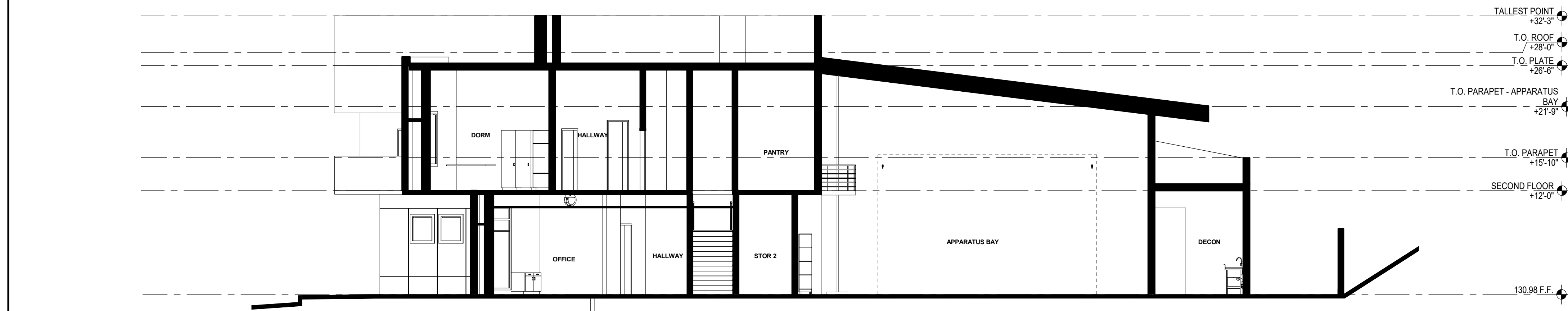
CLIENT	COASTSIDE FIRE PROTECTION DISTRICT	
PROJECT NUMBER	230137	
DATE	9/13/2023	
DRAWN BY	KF/OS	
CHECKED BY	AD	
REVISIONS		
#	DESCRIPTION	DATE

PLANNING SUBMITTAL
PROPOSED BUILDING SECTIONS

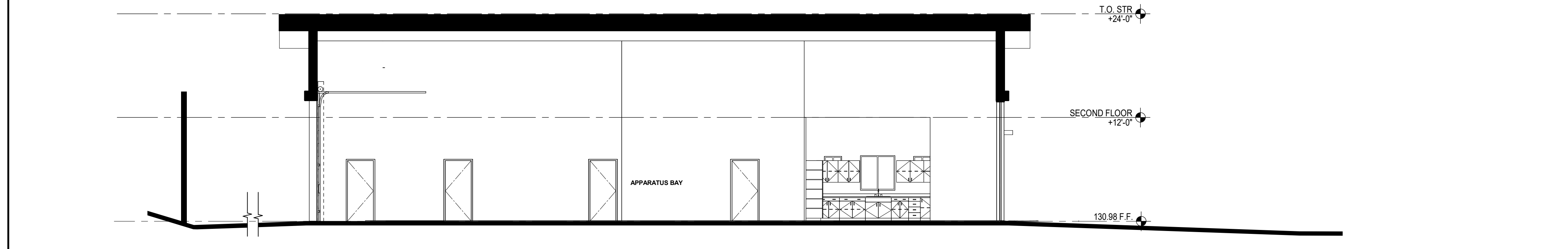
PLANNING SUBMITTAL

Not for permitting or construction

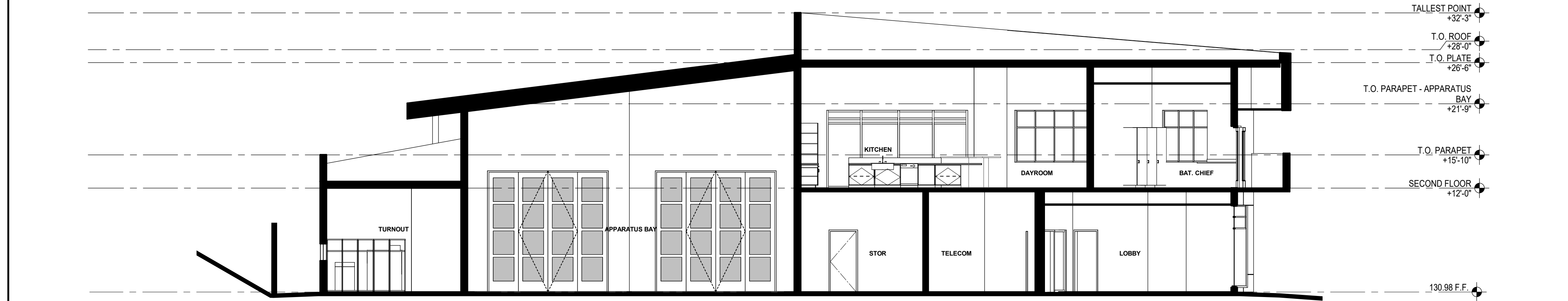
This document is for plan review only



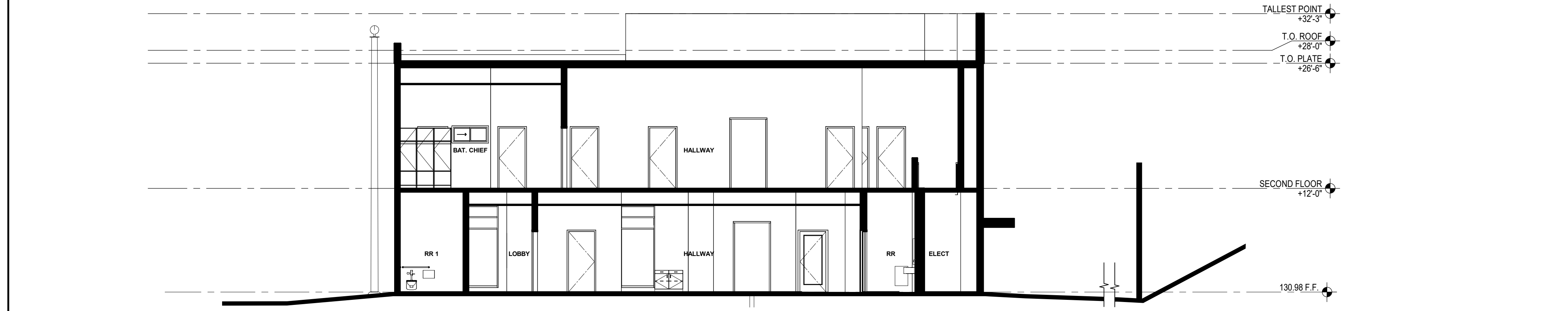
1 BUILDING SECTION 1
 SCALE: 1/8" = 1'-0"



2 BUILDING SECTION 2
 SCALE: 1/8" = 1'-0"



3 BUILDING SECTION 3
 SCALE: 1/8" = 1'-0"



4 BUILDING SECTION 4
 SCALE: 1/8" = 1'-0"

COASTLINE FIRE STATION NO. 44 REMODEL

COASTLINE FIRE PROTECTION DISTRICT
501 STETSON STREET
MOSS BEACH, CA 94038

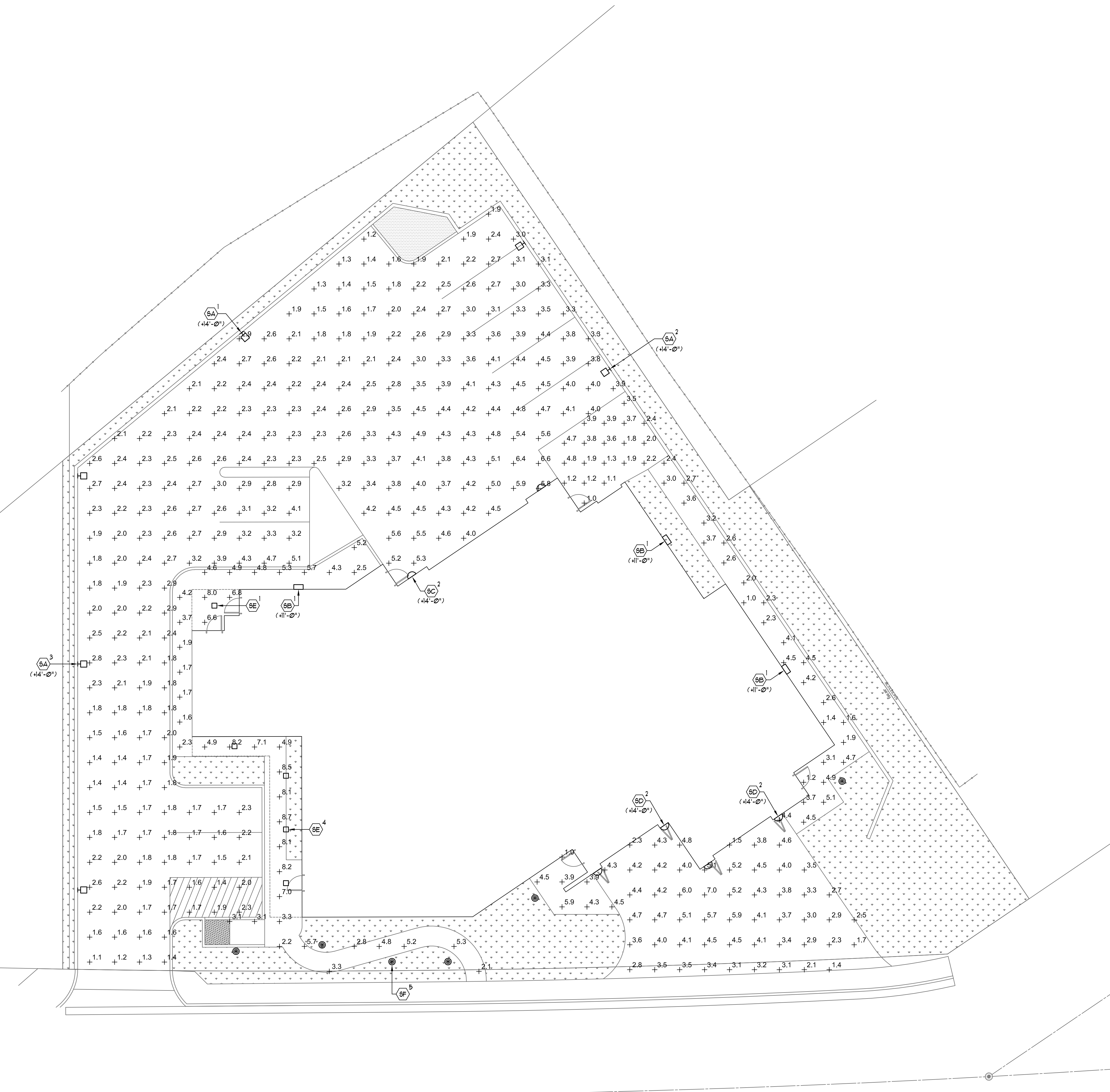
PLAN NOTES

① THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

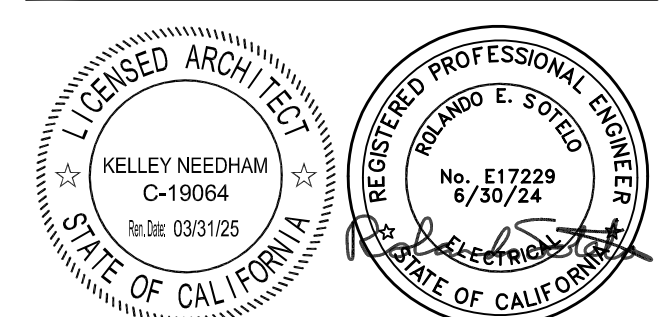
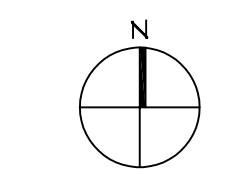
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Front Drive	+	3.9 fc	7.0 fc	1.0 fc	7.0:1	3.9:1
Left Walkway	+	4.9 fc	8.7 fc	1.6 fc	5.4:1	3:1
Right Walkway	+	2.9 fc	5.1 fc	1.0 fc	5.1:1	2.9:1
Side and Back Drive	+	2.8 fc	6.6 fc	1.1 fc	6.0:1	2.5:1

SITE LIGHTING FIXTURE SCHEDULE

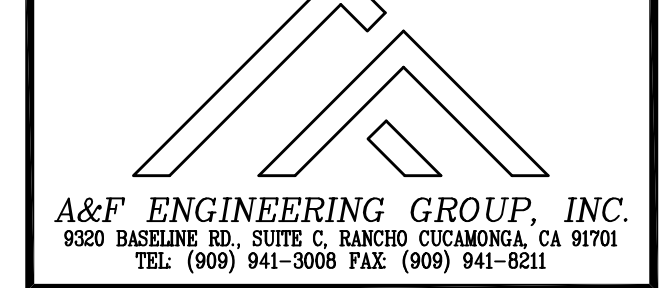
TYPE	MANUFACTURER/ MODEL	LAMP/ TEMP	WATTS/ VOLTAGE	MOUNTING HEIGHT
6A	LITHONIA LIGHTING D8XU-LED-72C-530-40K-1FTM-120-PE-PIR-H5-F	LED 4000K	35W	44'-0"
6B	LITHONIA LIGHTING MFXI-LED-P1-40K-MVOLT-PE	LED 4000K	24W	41'-0"
6C	U.S. ARCHITECTURAL LIGHTING TRF2-160L-39-4K9-4F-UNV-F-PC-NXUS	LED 4000K	38W	44'-0"
6D	U.S. ARCHITECTURAL LIGHTING TRF2-160L-29-4K9-4U-UNV-F-PC-NXUS	LED 4000K	25W	44'-0"
6E	GOTHAM LIGHTING EV065GSH-40/15-DFF-SOL-120-E21-NLT	LED 4000K	15W	
6F	VISIONAIRE LIGHTING KXK-3-8542-CGG-12U-4K-UNV-AB-F-IL8	LED 4000K	22W	



STETSON STREET



CONSULTANT



NO	DATE	BY	DESCRIPTION

REVISIONS

DRAWN: LS CHECKED: RES
DATE: 09/21/2023 SCALE: AS NOTED
PROJECT NUMBER: XXXXXX

PHOTOMETRIC SITE PLAN

DRAWING NUMBER: **E1.1P**